

Final Project Proposal

2028-29

Community College Construction Act of 1980
Capital Outlay Budget Change Proposal

Library Replacement Modernization

Proposal Name

Los Rios Community College District

Community College District

Cosumnes River College

College or Center

July 1, 2026

Date

A _____ P x W x C x E _____

2.1 FINAL PROJECT PROPOSAL CHECKLIST

District: Los Rios Community College District

College: Cosumnes River College

Project: Library Replacement Modernization

Prepared by: Suniya 360 Architects **Date:** July 1, 2026

Section	Description	Status	Date
1.1	Title Page	<u>Complete</u>	<u>05/01/2026</u>
2.1	Final Project Proposal Checklist	<u>Complete</u>	<u>05/01/2026</u>
3.1	Approval Page - Final Project Proposal (with original signatures)	<u>Complete</u>	<u>06/30/2026</u>
3.2	Project Terms and Conditions	<u>Complete</u>	<u>05/01/2026</u>
4.1	Analysis of Building Space Use and WSCH - JCAF 31	<u>Complete</u>	<u>05/01/2026</u>
5.1	Cost Estimate Summary - JCAF 32	<u>Complete</u>	<u>05/01/2026</u>
5.2	Quantities and Unit Costs supporting the JCAF 32	<u>Complete</u>	<u>05/01/2026</u>
6.1	Board of Governors Energy and Sustainability Policy	<u>Complete</u>	<u>05/01/2026</u>
7.1	Responses to Specific Requirements - State Administrative Manual	<u>Complete</u>	<u>05/01/2026</u>
8.1	California Environmental Quality Act	<u>Complete</u>	<u>05/01/2026</u>
9.1	Analysis of Future Costs	<u>Complete</u>	<u>05/01/2026</u>
10.1	Campus Plot Plan	<u>Complete</u>	<u>05/01/2026</u>
10.2	Site Plan	<u>Complete</u>	<u>05/01/2026</u>
10.3- 10.4	Floor Plans	<u>Complete</u>	<u>05/01/2026</u>
10.5	Elevations	<u>Complete</u>	<u>05/01/2026</u>
11.1	Guideline-Based Group II Equipment Cost Estimates - JCAF 33	<u>Complete</u>	<u>05/01/2026</u>
12.1	Justification of Additional Costs exceeding Guidelines	<u>Complete</u>	<u>05/01/2026</u>
13.1	Detailed Equipment List	<u>N/A</u>	<u>_____</u>
	Structural Report (as separate attachment)	<u>Complete</u>	<u>05/01/2026</u>

3.1 APPROVAL PAGE
Final Project Proposal
Budget Year **2028-29**

District: Los Rios Community College District

Project Location: Cosumnes River College
(College, campus, or center)

Project Name: Library Replacement Modernization

The district proposes funds for inclusion in the State capital outlay budget (check items):

preliminary plans working drawings , construction , equipment

District Certification

Contact Person: Pablo Manzo **Telephone:** (916) 856-3400
(Facilities, Planning and Development)

E-Mail Address: manzop@losrios.edu **Fax:** N/A

Approved for submission: _____ **Date:** _____
(Chancellor/President/Superintendent Signature)

District Board of Trustees Certification

The Governing Board of the District approves the submission of this application to the Board of Governors of the California Community Colleges and promises to fulfill the succeeding list of Project Terms and Conditions.

(President of the Board of Trustees Signature and Date)

(Secretary of the Board of Trustees Signature and Date)

Attach a copy of the Board Resolution that substantiates approval of the application and promises to fulfill the Project Terms and Conditions.

Submit proposal to:
Facilities Planning and Utilization
Chancellor's Office
California Community Colleges
1102 Q Street, 4th Floor (Ste. 6549)
Sacramento, CA 95811-6549

Chancellor's Office Certification

Reviewed by _____

Date Completed _____

3.2 PROJECT TERMS AND CONDITIONS

District: Los Rios CCD **College:** Cosumnes River College
Project: Library Replacement Modernization **Budget Year:** 2028-29

1. The applicant hereby requests state funds in the amount prescribed by law for the project named herein. All parts and exhibits contained in or referred to in this application are submitted with and made part of this application.
2. The applicant hereby assures the Board of Governors of the California Community Colleges that:
 - a. Pursuant to the provisions of Section 57001.5 of Title 5 no part of this application includes a request for funding the planning or construction of dormitories, stadia, the improvement of sites for student or staff parking, single-purpose auditoriums or student centers other than cafeterias. The facilities included in the proposed project will be used for one or more of the purposes authorized in 57001.5 of Title 5.
 - b. Any state funds received pursuant to this application shall be used solely for defraying the development costs of the proposed project.

If the application is approved, the construction covered by the application shall be undertaken in an economical manner and will not be of elaborate or extravagant design or materials.
 - c. Pursuant to the provisions of Section 81837 of the *Education Code*, approval of the final plans and specifications for construction will be obtained from the Board of Governors of the California Community Colleges before any contract is let for the construction.
 - d. No changes in construction plans or specifications made after approval of final plans which would alter the scope of work, function assignable and/or gross areas, utilities, or safety of the facility will be made without prior approval of the Chancellor's Office of the California Community Colleges and the Department of General Services, Division of the State Architects.
 - e. Pursuant to the provisions of Section 57011 of Title 5, upon completion of a project the governing board shall submit to the Chancellor's Office, within 30 days after the closure of the current fiscal year, a final report on all expenditures in connection with the sources of the funds expended. The district shall be subject to a state post-audit review of fund claims for all such projects.
 - f. Architectural or engineering supervision and inspection will be provided at the construction site to ensure that the work was completed in compliance with the provisions of Section 81130 of the *Education Code* and that it conforms to the approved plans and specifications.
 - g. Pursuant to the provisions of Section 8 of the *Budget Act*, no contract will be awarded prior to the allocation of funds to the Board of Governors by the Public Works Board.
3. It is understood by the applicant that:
 - a. No claim against any funds awarded on this application shall be approved which is for work or materials not a part of the project presented in this application as it will be finally allocated by the Public Works Board.
 - b. The failure to abide by each of the assurances made herein entitles the Board of Governors of the California Community Colleges to withhold all or some portion of any funds awarded on this application.
 - c. Any fraudulent statement which materially affects any substantial portion of the project presented in this application, as it may be finally approved, entitles the Board of Governors of the California Community Colleges to terminate this application or payment of any funds awarded on the project presented in this application.
4. It is further understood that:
 - a. The appropriation which may be made for the project presented in this application does not make an absolute grant of that amount to the applicant.
 - b. The appropriation is made only to fund the project presented in this application, as it is finally approved, regardless of whether the actual cost is less than or equals the appropriation.
 - c. A reduction in the scope of the project or assignable areas shall result in a proportionate reduction in the funds available from the appropriation.

Los Rios Community College District (230)

Cosumnes River College (232)

Project: Library Replacement Modernization

Rm Type	Description	TOP Code	Department	ASF	Sec. ASF	Increase In Space
110	Classroom	0099	General Assignment	5,460	0	5,460
110	Classroom	0099	General Assignment	0	7,081	-7,081
110	Classroom	4900	Interdisciplinary Studies	0	2,525	-2,525
210	Class Lab	0604	Radio and Television	1,250	0	1,250
210	Class Lab	0604	Radio and Television	0	1,541	-1,541
210	Class Lab	0702	Computer Information Systems	0	542	-542
210	Class Lab	1700	Mathematics	1,000	0	1,000
210	Class Lab	1701	Mathematics, General	0	1,198	-1,198
215	Class Lab Service	0604	Radio and Television	770	0	770
215	Class Lab Service	0604	Radio and Television	0	736	-736
230	Individual Study Lab	0604	Radio and Television	0	253	-253
235	Individual Lab Service	0604	Radio and Television	0	53	-53
310	Office	0099	General Assignment	0	2,845	-2,845
310	Office	0602	Journalism	0	264	-264
310	Office	0604	Radio and Television	200	0	200
310	Office	6110	Learning Center (Learning Resource Center)	0	835	-835
310	Office	6110	Learning Center (Learning Resource Center)	620	0	620
310	Office	6120	Library	1,138	0	1,138
310	Office	6120	Library	0	698	-698
310	Office	6310	Counseling Services	0	1,357	-1,357
310	Office	6399	Other Counseling and Guidance	0	414	-414
310	Office	6430	Extended Opportunity Programs and Services (EOPS)	0	2,465	-2,465
310	Office	6450	Student Personnel Administration	0	78	-78
310	Office	6499	Other Student Services	1,492	0	1,492
315	Office Service	0099	General Assignment	0	672	-672
315	Office Service	0602	Journalism	0	66	-66
315	Office Service	6120	Library	660	0	660
315	Office Service	6120	Library	0	232	-232
315	Office Service	6210	Registrations, Transfers, Transcripts, Certificati	0	180	-180
315	Office Service	6220	Student Records, Statistics and Publications	0	77	-77
315	Office Service	6310	Counseling Services	0	329	-329
350	Conference Room	6430	Extended Opportunity Programs and Services (EOPS)	0	411	-411
410	Read/Study Room	0602	Journalism	0	533	-533
410	Read/Study Room	6110	Learning Center (Learning Resource Center)	700	0	700
410	Read/Study Room	6120	Library	0	14,825	-14,825
410	Read/Study Room	6120	Library	12,720	0	12,720
410	Read/Study Room	6499	Other Student Services	525	0	525
420	Stack	6120	Library	4,580	0	4,580

430	Library - Electronic Carrels	6120	Library	3,110	0	3,110
440	Processing Room	6120	Library	1,140	0	1,140
440	Processing Room	6120	Library	0	1,224	-1,224
455	Study Service	6120	Library	0	559	-559
530	Audio/Visual, Radio, TV	0604	Radio and Television	0	302	-302
530	Audio/Visual, Radio, TV	0604	Radio and Television	1,370	0	1,370
530	Audio/Visual, Radio, TV	4900	Interdisciplinary Studies	0	766	-766
530	Audio/Visual, Radio, TV	6020	Course and Curriculum Development	0	541	-541
535	A/V, Radio, TV Service	0604	Radio and Television	600	0	600
535	A/V, Radio, TV Service	6110	Learning Center (Learning Resource Center)	0	314	-314
535	A/V, Radio, TV Service	6130	Media Services	200	0	200
535	A/V, Radio, TV Service	6130	Media Services	0	471	-471
615	Assembly Service	0099	General Assignment	0	140	-140
615	Assembly Service	0604	Radio and Television	0	338	-338
640	Lactation Room	0099	General Assignment	70	0	70
650	Lounge	6120	Library	150	0	150
650	Lounge	6499	Other Student Services	4,125	0	4,125
655	Lounge Service	6110	Learning Center (Learning Resource Center)	75	0	75
680	Meeting Room	0604	Radio and Television	100	0	100
680	Meeting Room	6120	Library	250	0	250
680	Meeting Room	6800	Community Services	2,000	0	2,000
710	Data Processing/Computer	6780	Management Information Services	410	0	410
730	Storage	6510	Building Maintenance and Operation Support	150	0	150
TOTAL	-	-		44,865	44,865	0

DISTRICT Los Rios Community College District		CAMPUS Cosumnes River College			
Project Name: Library Replacement Modernization		Date Prepared: 5/1/2026	Estimate CCI: 10258	CFIS Ref. #:	
Prepared By: Suniya 360		Estimate EPI: 5860	Budget Ref. #:		
	Total Cost	State Funded	District Funded		
			Supportable	Non Supportable	
1. SITE ACQUISITION (CCI: 10258)	\$0	\$0	\$0	\$0	
2. PRELIMINARY PLANS (CCI: 10258)	\$3,103,135	\$1,217,591	\$1,217,591	\$667,953	
2 - A. Architectural Fees for Preliminary Plans	\$1,893,047			\$492,176	
2 - B. Project Management for Preliminary Plans	\$676,088			\$175,777	
2 - C. Division of the State Architect Plan Check Fee	\$0			\$0	
2 - D. Preliminary Test (Soils Test, Geotech Report, Hazardous Material, Etc.)	\$199,000			\$0	
2 - E. Other Costs (Special Consultants, Printing, Legal, Etc.)	\$335,000			\$0	
3. WORKING DRAWINGS (CCI: 10258)	\$3,086,107	\$1,166,516	\$1,166,516	\$753,076	
3 - A. Architectural Fees for Working Drawings	\$2,163,482			\$562,487	
3 - B. Project Management for Working Drawings	\$0			\$0	
3 - C. Division of the State Architect Plan Check Fee	\$479,457			\$140,367	
3 - D. Community Colleges Plan Check Fee	\$193,168			\$50,222	
3 - E. Other Costs (Special Consultants, Printing, Legal, Etc.)	\$250,000			\$0	
(Total PW may not exceed 13% of construction)	\$0			\$0	
4. CONSTRUCTION - HARD COSTS (CCI: 10258)	\$67,608,816	\$27,357,354	\$22,673,745	\$17,577,718	
4 - A. Utility Service	\$1,279,918			\$0	
4 - B. Site Development - Service	\$5,708,471			\$0	
4 - C. Site Development - General	\$2,075,922			\$0	
4 - D. Site Development - Other	\$3,208,983			\$0	
4 - E. Reconstruction	\$0			\$0	
4 - F. New Construction (Building) (w/Group 1 equip)	\$37,017,455			\$0	
4 - G. Board of Governor's Energy Policy Allowance (2% or 3%)	\$740,349			\$0	
4 - H. Other	\$17,577,718			\$17,577,718	
5. CONTINGENCY (CCI: 10258)	\$3,380,441	\$1,250,777	\$1,250,777	\$878,886	
5. Contingency	\$3,380,441			\$878,886	
6. ARCHITECTURAL AND ENGINEERING OVERSIGHT (CCI: 10258)	\$1,352,176	\$500,311	\$500,311	\$351,554	
6. Architectural and Engineering Oversight	\$1,352,176			\$351,554	
7. TESTS AND INSPECTIONS (CCI: 10258)	\$1,323,368	\$489,652	\$489,652	\$344,064	
A. Tests	\$676,088			\$0	
B. DSA Inspections	\$647,280			\$0	
8. CONSTRUCTION MANAGEMENT (CCI: 10258)	\$1,352,176	\$500,311	\$500,311	\$351,554	
8. Construction Management	\$1,352,176			\$351,554	
9. TOTAL CONSTRUCTION (Items 4 through 8) (CCI: 10258)	\$75,016,978	\$30,098,405	\$25,414,796	\$19,503,777	
Total Construction Costs	\$75,016,978			\$19,503,777	
10. FURNITURE AND GROUP II EQUIPMENT (EPI: 5860)	\$4,266,527	\$0	\$4,266,527	\$0	
10 - A. Furniture and Group II Equipment	\$4,266,527			\$0	
11. Total Project Costs (Items 1, 2, 3, 9, and 10)	\$85,472,747	\$32,482,511	\$32,065,429	\$20,924,807	
12. Project Data	Gross Square Feet	Assignable Square Feet	ASF:GSF Ratio	Unit Cost Per ASF	Unit Cost Per GSF
New Construction	70,000	44,865	64%	\$825.09	\$528.82
Reconstruction	0	0	0%	\$0.00	\$0.00
13. Anticipated Time Schedule					
Start Preliminary Plans	8/1/2028	Advertise Bid for Construction	6/1/2030		
Start Working Drawings	2/1/2029	Award Construction Contract	8/1/2030		
Complete Working Drawings	8/1/2029	Advertise Bid for Equipment	11/1/2031		
DSA Final Approval	4/1/2030	Complete Project and Notice of Completion	2/1/2033		
14.	State Funded	District Funded		District Funded Total	
		Supportable	Non Supportable		
Preliminary Plans	\$1,217,591	\$1,217,591	\$667,953	\$1,885,544	
Working Drawings	\$1,166,516	\$1,166,516	\$753,076	\$1,919,592	
Construction	\$30,098,405	\$25,414,796	\$19,503,777	\$44,918,573	
Equipment	\$0	\$4,266,527	\$0	\$4,266,527	
Total Costs	\$32,482,511	\$32,065,429	\$20,924,807	\$52,990,236	
% of SS Costs	38.00%	62.00%	Project Total	\$85,472,747	
Points % Calc	49.75%	50.25%	SS Total	\$64,547,940	

FUSION

JCAF32 Cost Estimate Summary QUC

DISTRICT Los Rios Community College District		CAMPUS Cosumnes River College		
Project Name: Library Replacement Modernization	Date Prepared: 5/1/2026	Estimate CCI: 10258	CFIS Ref. #:	
	Prepared By: Suniya 360	Estimate EPI: 5860	Budget Ref. #:	
	Total Cost	State Funded	District Funded	
			Supportable	Non Supportable
1. SITE ACQUISITION (CCI: 10258)	\$0	\$0	\$0	\$0
2. PRELIMINARY PLANS (CCI: 10258)	\$3,103,135	\$1,217,591	\$1,217,591	\$667,953
2 - A. Architectural Fees for Preliminary Plans	\$1,893,047			\$492,176
1. Architect fee for Schematic and Preliminary plans - New Construction NewConst x 8.0% x 35.0%	\$1,893,047			\$0
2. Architect fee for Schematic and Preliminary plans - ReConstruction ReConst x 10.0% x 35.0%	\$0			\$0
2 - B. Project Management for Preliminary Plans	\$676,088			\$175,777
1. Project Administration/Management TotalConst * 1.0%	\$676,088			\$0
2 - C. Division of the State Architect Plan Check Fee	\$0			\$0
1. Structural Safety Fee	\$0			\$0
2. Fire, Life Safety Fee	\$0			\$0
3. Access Compliance Fee	\$0			\$0
2 - D. Preliminary Test (Soils Test, Geotech Report, Hazardous Material, Etc.)	\$199,000			\$0
California Geologic Hazard Fee	\$4,000			\$0
Topographic Survey	\$60,000			\$0
Utility Location	\$40,000			\$0
Hydrology Testing	\$25,000			\$0
CEQA Documents	\$35,000			\$0
Geotechnical/Geologic Testing and Reports	\$35,000			\$0
2 - E. Other Costs (Special Consultants, Printing, Legal, Etc.)	\$335,000			\$0
3rd Party Estimate	\$35,000			\$0
LEED Green Code Commissioning Consultant	\$100,000			\$0
Acoustical Consultant	\$60,000			\$0
Library Consultant	\$90,000			\$0
Hazardous Materials Consultant	\$50,000			\$0
3. WORKING DRAWINGS (CCI: 10258)	\$3,086,107	\$1,166,516	\$1,166,516	\$753,076

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JCAF32 Cost Estimate Summary QUC

3 - A. Architectural Fees for Working Drawings	\$2,163,482			\$562,487
1. Architect fee for Schematic and Working Drawings- New Construction NewConst x 8.0% x 40.0%	\$2,163,482			\$0
2. Architect fee for Schematic and Working Drawings - ReConstruction ReConst x 10.0% x 40.0%	\$0			\$0
3 - B. Project Management for Working Drawings	\$0			\$0
1. Project Administration/Management TotalConst * 1.0%	\$0			\$0
3 - C. Division of the State Architect Plan Check Fee	\$479,457			\$140,367
1. Structural Safety Fee	\$368,289			\$0
2. Fire, Life Safety Fee	\$52,392			\$0
3. Access Compliance Fee	\$59,921			\$0
3 - D. Community Colleges Plan Check Fee	\$193,168			\$50,222
1. Community Colleges Plan Check Fee (2/7 of 1% of Construction Cost) 2/7 of 1% of Construction Cost	\$193,168			\$0
3 - E. Other Costs (Special Consultants, Printing, Legal, Etc.)	\$250,000			\$0
3rd Party Estimator	\$50,000			\$0
Legal Services, Printing & Advertising	\$50,000			\$0
LEED Green Code Commissioning Consultant	\$100,000			\$0
Constructability Review Consultant	\$50,000			\$0
(Total PW may not exceed 13% of construction)	\$0			\$0
4. CONSTRUCTION - HARD COSTS (CCI: 10258)	\$67,608,816	\$27,357,354	\$22,673,745	\$17,577,718
4 - A. Utility Service	\$1,279,918			\$0
See FPP Cost Estimate - Site Utilities	\$1,279,918			\$0
4 - B. Site Development - Service	\$5,708,471			\$0
See FPP Cost Estimate - Includes Existing Building Demolition, Haz. Mat. Removal and Extensive Grading	\$5,708,471			\$0
4 - C. Site Development - General	\$2,075,922			\$0
See FPP Cost Estimate - Site Development General	\$2,075,922			\$0
4 - D. Site Development - Other	\$3,208,983			\$0
See FPP Cost Estimate - 465KW PV Solar and Battery Backup	\$3,208,983			\$0
4 - E. Reconstruction	\$0			\$0
Reconstruction from JCAF31 Reconstruction from JCAF31	\$0			\$0
4 - F. New Construction (Building) (w/Group 1 equip)	\$37,017,455			\$0
New Construction from JCAF31 New construction from JCAF31	\$37,017,455			\$0

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JCAF32 Cost Estimate Summary QUC

4 - G. Board of Governor's Energy Policy Allowance (2% or 3%)		\$740,349			\$0
Energy Incentive (2% of New Building Costs) NewConstruction x 2.0%		\$740,349			\$0
Energy Incentive (3% of Renovated Building Costs) ReConstruction x2 .0%		\$0			\$0
4 - H. Other		\$17,577,718			\$17,577,718
Cost Estimate Reconciliation Due to Sacramento Region Construction Market		\$17,577,718			\$0
5. CONTINGENCY (CCI: 10258)		\$3,380,441	\$1,250,777	\$1,250,777	\$878,886
5. Contingency		\$3,380,441			\$878,886
A. Contingency - New Construction TotalConst * 5.0%		\$3,380,441			\$0
B. Contingency - Reconstruction ReConst * 7.0%		\$0			\$0
6. ARCHITECTURAL AND ENGINEERING OVERSIGHT (CCI: 10258)		\$1,352,176	\$500,311	\$500,311	\$351,554
6. Architectural and Engineering Oversight		\$1,352,176			\$351,554
A. New Construction TotalConst * 8.0% * 25.0%		\$1,352,176			\$0
B. Reconstruction ReConst * 10.0% * 25.0%		\$0			\$0
7. TESTS AND INSPECTIONS (CCI: 10258)		\$1,323,368	\$489,652	\$489,652	\$344,064
7. Tests and Inspections		\$1,323,368			\$344,064
A. Tests TotalConst * 1.0%		\$676,088			\$0
B. DSA Inspections ()		\$647,280			\$0
8. CONSTRUCTION MANAGEMENT (CCI: 10258)		\$1,352,176	\$500,311	\$500,311	\$351,554
8. Construction Management		\$1,352,176			\$351,554
A. Construction Management TotalConst * 2.0%		\$1,352,176			\$0
9. TOTAL CONSTRUCTION (Items 4 through 8) (CCI: 10258)		\$75,016,978	\$30,098,405	\$25,414,796	\$19,503,777
Total Construction Costs		\$75,016,978			\$19,503,777
10. FURNITURE AND GROUP II EQUIPMENT (EPI: 5860)		\$4,266,527	\$0	\$4,266,527	\$0
10 - A. Furniture and Group II Equipment		\$4,266,527			\$0
11. Total Project Costs (Items 1, 2, 3, 9, and 10)		\$85,472,747	\$32,482,511	\$32,065,429	\$20,924,807
12. Project Data	Gross Square Feet	Assignable Square Feet	ASF:GSF Ratio	Unit Cost Per ASF	Unit Cost Per GSF
New Construction	70,000	44,865	64%	\$825.09	\$528.82
Reconstruction	0	0	0%	\$0.00	\$0.00
13. Anticipated Time Schedule					
Start Preliminary Plans	8/1/2028	Advertise Bid for Construction	6/1/2030		
Start Working Drawings	2/1/2029	Award Construction Contract	8/1/2030		
Complete Working Drawings	8/1/2029	Advertise Bid for Equipment	11/1/2031		
DSA Final Approval	4/1/2030	Complete Project and Notice of Completion	2/1/2033		
District Funded					

FUSION**JCAF32 Cost Estimate Summary QUC**

14.	State Funded	Supportable	Non Supportable	District Funded Total
Preliminary Plans	\$1,217,591	\$1,217,591	\$667,953	\$1,885,544
Working Drawings	\$1,166,516	\$1,166,516	\$753,076	\$1,919,592
Construction	\$30,098,405	\$25,414,796	\$19,503,777	\$44,918,573
Equipment	\$0	\$4,266,527	\$0	\$4,266,527
Total Costs	\$32,482,511	\$32,065,429	\$20,924,807	\$52,990,236
% of SS Costs	38.00%	62.00%	Project Total	\$85,472,747
Points % Calc	49.75%	50.25%	SS Total	\$64,547,940

Report Generated: 5/1/2026

6.1 BOARD OF GOVERNORS ENERGY AND SUSTAINABILITY POLICY

This project will be designed to exceed Title 24, Part 6 Energy Code by 15%, consistent with the Board of Governors Energy and Sustainability policy. The design should incorporate sustainable goals for site, energy efficiency, water use reduction, storm water management, occupant health as well as minimizing the buildings impact on the environment both by design and construction. Strategies that will be considered:

- Natural and native planting materials may be incorporated around the building to minimize, if not eliminate, the irrigation demand.
- Concrete walkways may be minimized to reduce storm water runoff and promote natural filtration into the soil as well as a reduction in the heat island effect.
- Overhangs will be incorporated to shade glazing.
- Low E dual glazing will be incorporated to reduce heat gain.
- Roofing will incorporate cool roofing to reduce the heat island effect and heat gain.
- Heating and cooling will be provided by a highly energy efficient HVAC system.
- HVAC controls designed to maximize efficiency will be provided where applicable.
- Natural lighting will be incorporated into most spaces.
- Energy saving lighting will include automatic lighting controls and sensors.
- Interior materials may be low in volatile organic compounds, high in recycled content.
- Water efficient fixtures, faucets and devices will be incorporated.
- A strict recycling program may be required during construction.
- May request participation in the local utility's energy incentive program, if available.
- Photovoltaic panels will be incorporated where appropriate.
- Durable systems and finishes with long life cycles that minimize maintenance and replacement.
- Optimization of indoor environmental quality for occupants with high efficiency industrial ventilation.
- Utilization of environmentally preferable products and processes, such as recycled content materials and recyclable materials.
- Procedures that monitor, trend and report operational performance as compared to the optimal design and operating parameters to the campus' central energy management system.
- Space may be provided throughout the building to support an active recycling program.

STATE OF CALIFORNIA
Capital Outlay Budget Change Proposal (COBCP) - Cover Sheet
 DF-151 (REV 07/21)

Fiscal Year 2028-29	Business Unit 6870	Department Board of Governors, California Community Colleges	Priority No.
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Budget Request Name 6870-301-COBCP-2026-XX	Capital Outlay Program ID 5680	Capital Outlay Project ID
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Project Title
 Los Rios Community College District, Cosumnes River College, Library Replacement Modernization

Project Status and Type
 Status: New Continuing Type: Major Minor

Project Category (Select one)

<input type="checkbox"/> CRI <i>(Critical Infrastructure)</i>	<input type="checkbox"/> WSD <i>(Workload Space Deficiencies)</i>	<input type="checkbox"/> ECP <i>(Enrollment Caseload Population)</i>	<input type="checkbox"/> SM <i>(Seismic)</i>
<input type="checkbox"/> FLS <i>(Fire Life Safety)</i>	<input checked="" type="checkbox"/> FM <i>(Facility Modernization)</i>	<input type="checkbox"/> PAR <i>(Public Access Recreation)</i>	<input type="checkbox"/> RC <i>(Resource Conservation)</i>

Total Request (in thousands) \$32,483	Phase(s) to be Funded PWC	Total Project Cost (in thousands) \$85,473
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Budget Request Summary

The Los Rios Community College District, Cosumnes River College, Library Replacement Modernization Project will demolish the 56-year-old three-story 70,692 Gross Square Feet building and construct a new permanent two-story replacement facility on the current Library site. The new replacement building will house 44,865 ASF / 70,000 GSF, which is the same ASF and a smaller GSF than the existing building. The new Library will accommodate growth in Library space that is needed by enrollments, while responsibly reducing space in other categories. The total ASF includes 5,460 ASF of Classroom (a reduction of 4,146 ASF), 3,020 ASF of Laboratory (a reduction of 1,303 ASF), 4,110 ASF of Office (a reduction of 6,813 ASF), 22,775 ASF of Library (an increase of 5,634 ASF), 2,170 ASF of AV/TV, and 7,330 ASF of Other support space. The existing building has a Facilities Condition Index of 114.61%, making a new permanent replacement facility the least cost solution.

Requires Legislation <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Code Section(s) to be Added/Amended/Repealed	CCCI 10258
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Requires Provisional Language <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Budget Package Status <input type="checkbox"/> Needed <input checked="" type="checkbox"/> Not Needed <input type="checkbox"/> Existing
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Impact on Support Budget

One-Time Costs <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Swing Space Needed <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Future Savings <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Generate Surplus Property <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Future Costs <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

If proposal affects another department, does other department concur with proposal? Yes No
Attach comments of affected department, signed and dated by the department director or designee.

Prepared By	Date	Reviewed By	Date
Department Director	Date	Agency Secretary	Date

Department of Finance Use Only	
Principal Program Budget Analyst	Date submitted to the Legislature

A. COBCP Abstract:

Los Rios Community College District (LRCCD), Cosumnes River College, Library Replacement Modernization Project - \$32,483,000 for the state share of preliminary plans, working drawings and construction. The project demolishes the 56-year-old three-story Library and constructs a new two-story 70,000 Gross Square Feet Library Building with associated site costs. The total project costs are estimated at \$85,473,000 (\$64,548,000 state supportable, \$20,925,000 non-state supportable) including preliminary plans \$3,103,000, working drawings \$3,086,000, construction \$75,017,000 and equipment \$4,267,000. The construction amount includes \$67,609,000 for the construction contract, \$3,381,000 for contingency, \$1,352,000 for architectural & engineering services, \$1,323,000 for tests & inspections, and \$1,352,000 for construction management. The current project schedule estimates Preliminary Plans will begin in August 2028 and be completed in January 2029. The Working Drawings are estimated to begin in February 2029 and will be completed in August 2029. Construction is scheduled to begin in August 2030 and will be completed in February 2033.

B. Purpose of the Project:

The California Community Colleges Board of Governors (BOG) has adopted priority funding categories and a scoring system to assist community college districts in their capital planning efforts so that capital outlay project proposals reflect the state's priorities. The BOG's priority funding categories give reference to projects that best meet the following priorities: life and safety, growth, and modernization. The proposed project successfully met the BOG's modernization priority and has received a high score.

Based on 2024-2025 data, Cosumnes River College annually had 25,027 students enrolled in its instructional programs, 50.1 percent of whom are low income. In Fall 2025, Cosumnes River College had 340 full-time equivalent campus employees providing administrative services, student services, and instruction. Los Rios Community College District and Cosumnes River College are located in the greater Sacramento Region (CCD North region), which is not identified as a region of low performance in the California Community College Vision for Success.

The Cosumnes River College Library Replacement Modernization Project includes demolition of the existing Library Building and the associated site area. The project supports the Library, multiple Student Support Learning Communities, the career technical Radio Television Film program, General Instruction classrooms, and a Mathematics computer lab. Los Rios CCD will replace the old three-story building with a new two-story building that has 44,865 Assignable Square Feet (ASF) comprising primarily Library and Other space. The new Library will accommodate growth in Library space that is needed by enrollments, while responsibly reducing space in other categories. The Library itself will be located all on one floor, which will improve efficiencies and facilitate operations, and it will be equipped with the modern infrastructure, technology, and space configurations that enhance student learning and collaboration, all of which improve student success.

The existing Library building was constructed in 1970 and has not benefited from any significant renovations in the last 56 years. According to the FUSION assessment, the building has a Facilities Condition Index of 114.61%, making a new permanent replacement facility the least cost solution.

Programmatic Issues, Physical and Infrastructure Deficiencies

The existing Library space of 17,141 Assignable Square Feet is distributed across two floors and is undersized for the number of students enrolled at the college. Students face long wait times for computers and group study rooms, and often end up sitting on the floor when all chairs are occupied. This leads to overcrowding and fire code violations that are hard to monitor because the library is split

on two floors and the librarian's offices are located outside of the library boundaries (across from the central atrium and half a story in between the two levels of the Library).

The physical configuration of the existing Library building presents a major accessibility issue. The building is configured as a "split level" facility where programmatic spaces are located half a story up on either side of a central atrium, so the "second" and "third" level on one side of the building (where the Library is located) do not line up with the "second" and "third" level on the other side of the building (where the librarians' offices, computer labs and classrooms are located). As such, the main elevator off the entry lobby, where students enter the facility, does not provide an accessible path to the Library. Instead, disabled students have to use a back elevator, accessed via a circuitous path on the first floor. Once students are on the second floor, the back elevator opens directly *into* the stacks part of the Library, well past the Library access control points and outside the visibility of the main circulation desk, creating barriers and unequal access in violation of the Americans with Disabilities Act, as well as security and wayfinding issues for the Library. Furthermore, disabled students who are using the Library and want to access the classrooms and computer labs located in the facility on the other side of the central atrium are forced to take the back elevator down to the first floor and transfer to the main elevator to get to those spaces, while abled-bodied students are able to get to them via conveniently located stairs.

Other programs currently housed in the facility include the Radio, Television, and Film instructional program, some computer labs, numerous student services, and general-purpose classrooms. The Radio Television and Film (RTVF) instructional program spaces are spread out on the first floor and not colocated, which causes departmental inefficiencies and sound/noise issues for programs located adjacent to their spaces. Existing classrooms are oversized for the number of students and can therefore be reduced in size, and instructional computer labs can also be consolidated. The balance of spaces needs to be adequately configured and sized to accommodate student support learning programs and communities: programs and services that positively impact student success outcomes.

Other building infrastructure issues include all systems (mechanical, electrical, fire alarm, elevators, windows, roofs, etc.) being original to the building and well beyond their useful life, as the latest FUSION assessment details. The existing building's concrete structure also makes installing and upgrading the technology needed to support the library and instructional programs very challenging. The existing mechanical and electrical systems were also not designed to handle the number of computers and other electronic devices that are needed in this facility. This lack of appropriate technology and electrical and mechanical infrastructure causes interruptions and constrains the instructors' and student support providers' ability to teach and support students effectively.

Degenkolb Engineers, a certified structural engineering firm, conducted an ASCE 41-23 Tier 1 Structural Evaluation of the Cosumnes River College Library in April 2026. Based on the firm's evaluation, the Library has areas that are seismically deficient. Shear walls at the mechanical room do not extend down to the foundation, the mezzanine level has inadequate lateral support along one edge, and the diaphragms are not adequately attached to the masonry shear walls. The cost estimate for the seismic portion of the existing building renovation is \$1,956,444 (CCCI 10258).

The proposed replacement Library building will address all of these issues, providing an accessible, efficiently designed, state-of-the-art Library that better meets the needs of students to learn, study, and collaborate, while also modernizing spaces for Radio, Television, and Film, creating flexible learning environments, and providing necessary support spaces for the campus learning communities.

Solution Criteria

To mitigate the current programmatic, physical, and infrastructure problems, the district seeks a permanent, least-cost solution that meets the following criteria:

- Cost - is the least cost solution that permanently increases library space without impacting the campus operational budget.
- Educational Impact 1 – provides library spaces that are located all on one floor; integrates the librarian offices within the library boundary; and increases the amount of contiguous space available for studying and collaborative study.
- Educational Impact 2 – provides spaces for the library and learning programs & communities at the heart of the campus to enhance student use and student success.
- Campus Integration – is consistent with the College's Educational, Strategic, and Facilities Master Plans goals and objectives, and is included in the Facilities Master Plan.
- Campus Safety/Security – provides a facility that is designed to current applicable building codes, including life safety, access, and structural integrity, and provides a safe environment for students, faculty, and staff.
- Energy Efficiency – improves campus energy efficiency and decreases maintenance and operational costs (total cost of ownership) over time.

C. Relationship to the Strategic Plan:

The Cosumnes River College (CRC) Library Replacement Modernization Project seeks to advance the goals of the California Community Colleges Vision for Success, an effort to improve student success, increase students' transfer to four-year institutions, and build robust career technical education programs. This project is the number one priority for Cosumnes River College as identified in both the College's 2025 Facilities Master Plan and the District's 5-Year Capital Outlay Plan.

Building a new Library Replacement will help meet the key priorities outlined in the College's Fall 2022 Strategic Plan which seeks to remove barriers, facilitate equitable access, success and on-time completion; provide innovative and sustainable technology and facilities that support flexible learning and engagement for Cosumnes River College's diverse campus communities; align CTE programs and facilities to meet current industry needs; and provide safe and healthy environments.

The new Library facility accomplishes these goals by removing the accessibility barriers that exist for the Library and Learning Communities and support programs housed within, and by providing the instructional programs, including the CTE Radio, Television, Film program, the technology, infrastructure, and teaching/learning configurations necessary to align with current industry needs and teaching pedagogies, thereby enhancing students' ability to succeed in meeting their educational and workforce goals. In addition to providing a safe and healthy environment, and in alignment with the District's Sustainability goals, the new facility is also more energy and water efficient, and more sustainable, all of which will lower maintenance and operational costs.

D. Alternatives:

Three alternatives were analyzed to address the problems discussed above:

- Alternative 1 - Construct New Replacement Library Building
- Alternative 2 - Modernize Existing Library Building
- Alternative 3 - Lease Off-site Facilities

Alternative 1

This option demolishes the old 70,692 Gross Square Feet (GSF) building and constructs a new permanent two-story 70,000 GSF Replacement Library on the current Library site. The New Replacement Library building will house a total of 44,865 Assignable Square Feet (ASF). The total ASF includes 5,460 ASF of Classroom space, 3,020 ASF of Laboratory space, 4,110 ASF of Office space, 22,775 ASF of Library space, 2,170 ASF of AV/TV space, and 7,330 ASF of Other space.

The total estimated cost at CCI 10258 and EPI 5860 is \$85,472,700.

Pros:

- Cost - is the least cost solution that permanently increases library space without impacting the campus operational budget.
- Educational Impact 1 – provides library spaces that are located all on one floor; it integrates the librarian offices within the library boundary; and increases the amount of contiguous space available for studying and collaborative study.
- Educational Impact 2 – provides spaces for the library and learning programs & communities at the heart of the campus to enhance student use and student success.
- Campus Integration – is consistent with the College's Educational, Strategic, and Facilities Master Plans goals and objectives, and it is included in the Facilities Master Plan.
- Campus Safety/Security – provides a facility that is designed to current applicable building codes, including life safety, access, and structural integrity, and provides a safe environment for students, faculty, and staff.
- Energy Efficiency – improves campus energy efficiency and decreases maintenance and operational costs (total cost of ownership) over time.

Cons:

- None.

Alternative 2

This option involves modernizing the 70,692 Gross Square Feet (GSF) building. The modernization would include a structural seismic upgrade, a complete overhaul of all systems (mechanical, electrical, fire alarm, fire sprinklers, glazing, roofing, etc.), the replacement and addition of multiple elevators to comply with accessibility codes, and the repurposing of instructional spaces to library space to accommodate the amount of library space required by the college enrollment. However, these spaces will not be on the same level as the Library floors due to the existing building configuration, and the librarians' offices will not be able to be accommodated within the library boundary, making the increase in library space a burden to library operations and cumbersome for student wayfinding and ultimately adding barriers to student success. The modernization will house a total of 44,865 Assignable Square Feet (ASF). The total ASF includes 5,460 ASF of Classroom space, 3,020 ASF of Laboratory space, 4,110 ASF of Office space, 22,775 ASF of Library space, 2,170 ASF of AV/TV space, and 7,330 ASF of Other space.

The total estimated cost at CCI 10258 and EPI 5860 is \$91,289,500.

Pros:

- Educational Impact 2 – provides spaces for the library and learning programs & communities at the heart of the campus to enhance student use and student success.

Cons:

- Cost - is not the least cost solution that permanently increases library space without impacting the campus operational budget.
- Educational Impact 1 – does not provide library spaces that are located all on one floor; it does not integrate the librarian offices within the library boundary; and it does not increase the amount of contiguous space available for studying and collaborative study.
- Campus Integration – is not consistent with the College's Educational, Strategic, and Facilities Master Plans goals and objectives, and it is not included in the Facilities Master Plan.
- Campus Safety/Security – while the modernization would be designed to current applicable building codes, including life safety, access, and structural integrity, and it would provide a safe environment for students, faculty, and staff, there is no feasible way to provide accessible paths throughout the facility that do not entail the need to transfer elevators to get from one side of the building to the other.
- Energy Efficiency – does not improve campus energy efficiency and does not decrease maintenance and operational costs (total cost of ownership) as much over time.

Alternative 3

This option involves locating 70,000 Gross Square Feet of leased space close to the campus to house the specialized Library, Radio, Television, Film spaces, along with the classrooms, computer labs, and office/other spaces for the campus learning communities. Finding this space close to campus will be challenging and will create undue hardships for the students as they will need to travel between the main campus and the leased site to avail themselves of the Library services and the Learning Communities programs that help them succeed. In all likelihood, the Library and Learning Communities would see a significant drop in students who use their services. The leased space will house a total of 44,865 Assignable Square Feet (ASF). The total ASF includes 5,460 ASF of Classroom space, 3,020 ASF of Laboratory space, 4,110 ASF of Office space, 22,775 ASF of Library space, 2,170 ASF of AV/TV space, and 7,330 ASF of Other space.

The total estimated cost at CCI 10258 and EPI 5860 is \$151,266,500.

Pros:

- Educational Impact 1 – depending on the leased site, it may provide library spaces that are located all on one floor; it may integrate the librarian offices within the library boundary; and it may increase the amount of contiguous space available for studying and collaborative study.

Cons:

- Cost - is not the least cost solution that permanently increases library space without impacting the campus operational budget.
- Educational Impacts 2 – does not provide spaces for the library and learning programs & communities at the heart of the campus to enhance student use and student success.
- Campus Integration – is not consistent with the College's Educational, Strategic, and Facilities Master Plans goals and objectives, and it is not included in the Facilities Master Plan.
- Campus Safety/Security – while the facility may be designed to current applicable building codes, including life safety, access, and structural integrity, and it may provide a safe environment for students, faculty, and staff, it will also increase campus safety and security concerns related to the travel pathways from campus to the leased facility.

- Energy Efficiency – does not improve campus energy efficiency, and it will not decrease maintenance and operational costs (total cost of ownership) over time, in fact it increases campus operating costs significantly.

Solution Criteria Matrix

Solution Criteria	Alt. 1 Construct New Facility	Alt. 2 Renovate Existing	Alt. 3 Lease Off-site Facilities
Cost: is the least cost solution that permanently increases library space without impacting the campus operational budget	Yes	No	No
Educational Impact 1: provides library spaces that are located all on one floor; integrates the librarian offices within the library boundary; and increases the amount of contiguous space available for studying and collaborative study.	Yes	No	Yes
Educational Impact 2: provides spaces for the library and learning programs & communities at the heart of the campus to enhance student use and student success.	Yes	Yes	No
Campus Integration: is consistent with the College's Educational, Strategic, and Facilities Master Plans goals and objectives, and is included in the Facilities Master Plan.	Yes	No	No
Campus Safety/Security: provides a facility that is designed to current applicable building codes, including life safety, access, and structural integrity, and provides a safe environment for students, faculty, and staff.	Yes	No	No
Energy Efficiency: improves campus energy efficiency and decreases maintenance and operational costs (total cost of ownership) over time	Yes	No	No

E. Recommended Solution:

- Which alternative and why?

Alternative 1 - Construct a permanent New Replacement Library Building is the chosen option because it is the only alternative that meets all of the solution criteria, and it is the least cost option. Alternative 1 addresses all of the current accessibility, programmatic, and infrastructure issues the best out of all three options: making the entire building accessible without requiring multiple different elevators to get you to various parts of the facility; accommodating the necessary growth in library space and locating it all on one floor for operational efficiencies. Alternative 1 also locates the library spaces and the learning programs & communities spaces at the heart of the campus, consistent with the Campus's Strategic, Educational, and Facilities Master Plans for enhancing student success. This alternative will also be the most energy efficient and sustainable of all three options, reducing the total cost of ownership.

The total estimated cost at CCI 10258 and EPI 5860 is \$85,472,700.

- Detailed scope description.

The new 70,000 Gross Square Feet Library Replacement Building will house 44,865 Assignable Square Feet, which is the same ASF and a smaller GSF than the existing building. The New Library will accommodate growth in Library space that is needed by enrollments, while responsibly reducing space in other categories. The total ASF includes 5,460 ASF of Classroom, 3,020 ASF of Laboratory, 4,110 ASF of Office, 22,775 ASF of Library, 2,170 ASF of AV/TV, and 7,330 ASF of Other support space. The New Library will be located on the same site as the existing building and will include site work improvements to address accessibility issues, such as re-grading the site to ensure that the first floor of the New Library Replacement Building is aligned with sidewalks located on all four sides of the building without the need for extensive ramps and steps.

The total estimated cost at CCI 10258 and EPI 5860 is \$85,472,700.

Capacity-Load Ratios

Upon completion of the project, capacity-load ratios for lecture spaces decrease from 210% to 189%. Laboratory spaces also decrease from 150% to 147%, as do Office spaces from 136% to 122%. The much-needed Library spaces increase from 56% to 69%, and AV/TV spaces decrease slightly from 21% to 19%.

Type	Lecture	Lab	Office	Library	AV/TV	Other	Total
Primary	5,460	3,020	4,110	22,775	2,170	7,330	44,865
Secondary	- 9,606	-4,323	-10,923	-17,141	-2,394	-478	-44,865
Net	-4,146	-1,303	-6,813	5,634	-224	6,852	0
Beg. Cap/Load Ratios (2021)	210%	150%	136%	56%	21%	N/A	114%
End. Cap/Load Ratios (2024)	189%	147%	122%	69%	19%	N/A	109%

- Basis for cost information.

Cost estimates were assembled by the architect for this project, using the cost guidelines provided by the State Chancellor's Office, district data, and professional cost estimating. Hard construction costs were developed by engineering and construction management professionals utilizing the FPP program, and conceptual drawings, and data from recently completed construction projects at Los Rios Community College District campuses and the Sacramento region. The estimate is based on local prevailing wage construction costs and raw materials costs and does not include escalation. Pricing assumes competitive bidding for all sub-trades.

Estimated hard construction costs for the Library Replacement Modernization Project exceed current state guidelines at CCCI 10258. The excess hard construction costs also trigger associated soft costs. The proposed project costs are estimated to exceed maximum state guidelines by \$20,924,807, and these have been identified as non-state supportable throughout the FPP. The

District is contributing 50% towards state-supportable project costs, as well as the additional \$20,924,807 for the non-state supportable costs.

- Factors/benefits for recommended solution other than the least expensive alternative.

In addition to being the least cost solution, and the solution that best meets the project criteria, this solution will improve the accessibility, water use, energy efficiency, and technology infrastructure of this major student support/instructional building on campus. At a smaller ASF/GSF and equipped with more efficient building systems, as well as more durable and sustainable materials, it will also lower maintenance and operational costs and improve the campus's sustainability.

- Complete description of impact on support budget.

There are no program costs associated with the Library Replacement Modernization Project because these programs and staff already exist. The staff and programs currently support students in overcrowded library spaces or oversized instructional spaces, and this project will correct the space allocation with no net building growth.

- Identify and explain any project risks.

No known risks have been identified for this project at this time.

- List requested interdepartmental coordination and/or special project approval (including mandatory reviews and approvals, e.g. technology proposals).

State Fire Marshal review for fire life safety, and Division of the State Architect for fire life safety, access compliance, structural reviews, and field reviews.

F. Consistency with Government Code Section 65041.1:

Does the recommended solution (project) promote infill development by rehabilitating existing infrastructure and how? Explain.

The California Community Colleges are exempt from the specific provisions of this Government Code Section.

Does the project improve the protection of environmental and agricultural resources by protecting and preserving the state's most valuable natural resources? Explain.

The California Community Colleges are exempt from the specific provisions of this Government Code Section.

Does the project encourage efficient development patterns by ensuring that infrastructure associated with development, other than infill, support efficient use of land and is appropriately planned for growth? Explain.

The California Community Colleges are exempt from the specific provisions of this Government Code Section.

Economic Analysis Matrix

Economic Analysis Matrix	Alt. 1 Construct New Facility	Alt. 2 Renovate Existing	Alt. 3 Lease Off-site Facilities
Site Acquisition	\$0	\$0	\$0
Plans and Working Drawings	\$6,189,200	\$7,517,800	Unknown
Construction Costs			\$0
Utility Service	\$1,279,900	\$420,000	
Site Development Service	\$5,708,500	\$448,900	
Site Development General	\$2,075,900		
Site Development Other	\$3,209,000	\$3,209,000	
Reconstruction		\$42,570,100	
New Construction	\$37,017,500		
BOG Allowance	\$740,300	\$1,277,100	
Other	\$17,577,700	\$20,214,400	
Other Seismic		\$1,956,400	
Construction Soft Costs	\$7,408,200	\$9,409,300	\$0
Total Construction Costs	\$75,017,000	\$79,505,200	Tenant Improvements Costs unknown
Equipment (Group II)	\$4,266,500	\$4,266,500	\$4,266,500
Other (Lease/Tenant Improvements) - current lease rate at loopnet.com is \$42 for campus area: \$42 x 70,000 gsf x 50 years =			\$147,000,000
Total Project Cost at CCI 10258 EPI 5860 in Today's \$ in rounded numbers	\$85,472,700	\$91,289,500	\$151,266,500

8.1 CALIFORNIA ENVIRONMENTAL QUALITY ACT
(Reference: California Code of Regulations, Title 5 Section 57121)

The District will have CEQA review requirements completed prior to request for Preliminary Plans approval and/or request to proceed to bid.

9.1 ANALYSIS OF FUTURE COSTS

Provide an economic analysis of additional instructional, administrative, and maintenance cost resulting from the proposed project, including personnel years. Disclose all new courses or programs to be housed in the project that may need Chancellor's Office review.

Personnel Costs

Certificated:

No change to staffing is associated with this project.

Classified:

No change to staffing is associated with this project.

Depreciation, Maintenance, and Operation

There will be savings in maintenance and operations because an aged building is demolished, the new building will be more energy and water efficient, and the program is consolidated on two floors which makes custodial services more efficient.

Program/Course/Service Approvals

List all new programs/courses/services to be housed in this project or its secondary effects and give the date of approval. If there are no new programs/courses/services for which approval is required, please so state. This is not required for equipment-only projects.

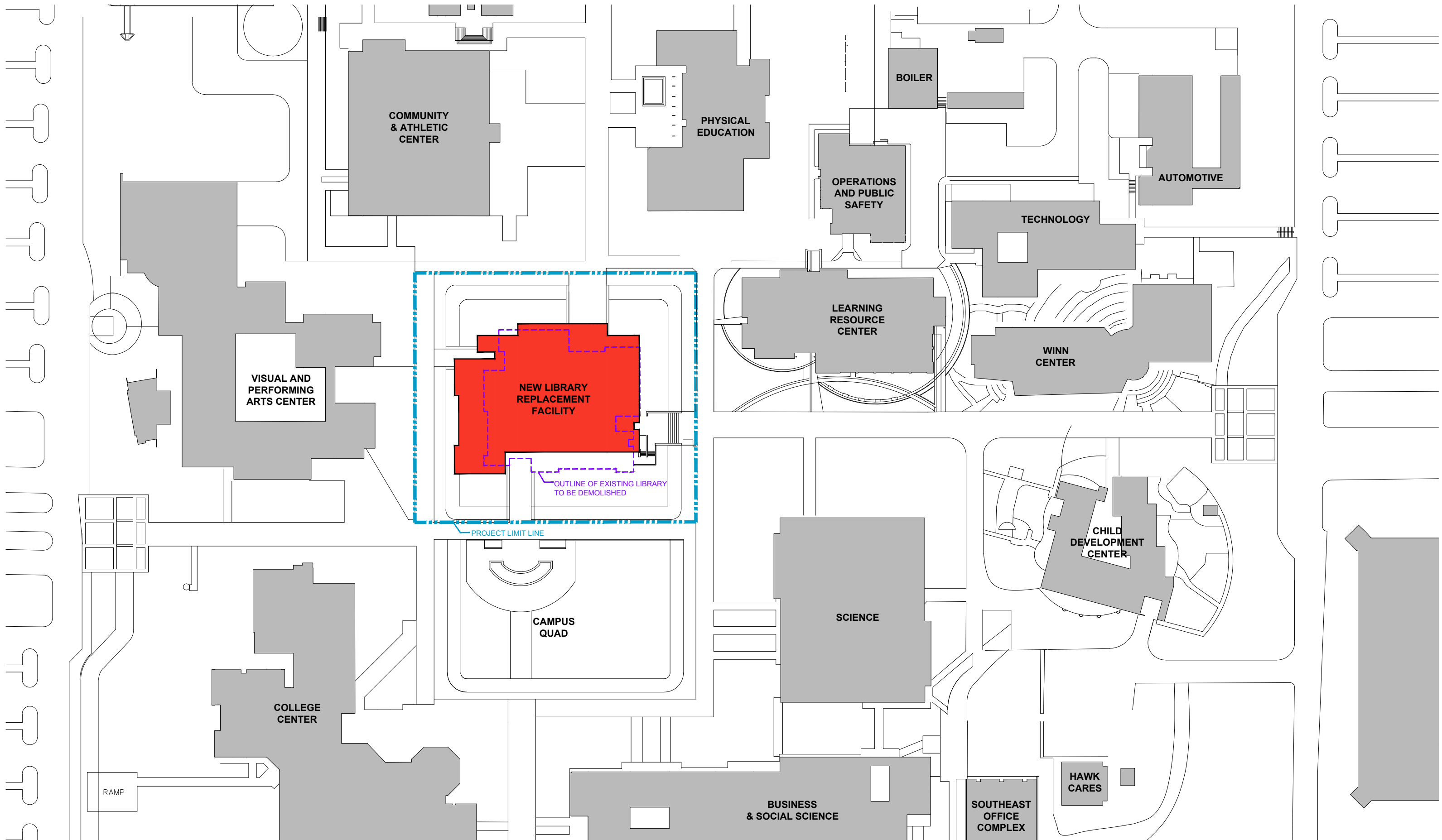
Name of New Program/Course/Service	Date of Approval
<u>No New Programs, therefore Not Applicable.</u>	_____
_____	_____
_____	_____
_____	_____

10. DIAGRAMS OF CAMPUS, PROJECT SITE, BUILDING AREAS, AND ELEVATIONS

Provide the following pre-schematics in lieu of this sheet: Campus Plot Plan, Site Plan, Floor Plans, and Exterior Elevations. If the project has unusual characteristics that require further explanation, please provide the following conceptual drawings as needed: Electrical Plans and Mechanical Plans.

See Attached Drawings:

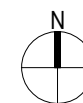
- 10.1** Campus Plot Plan
- 10.2** Site Plan
- 10.3** First Floor Plan
- 10.4** Second Floor Plan
- 10.5** Elevations

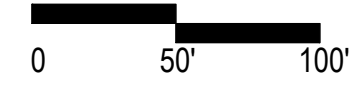
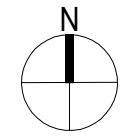
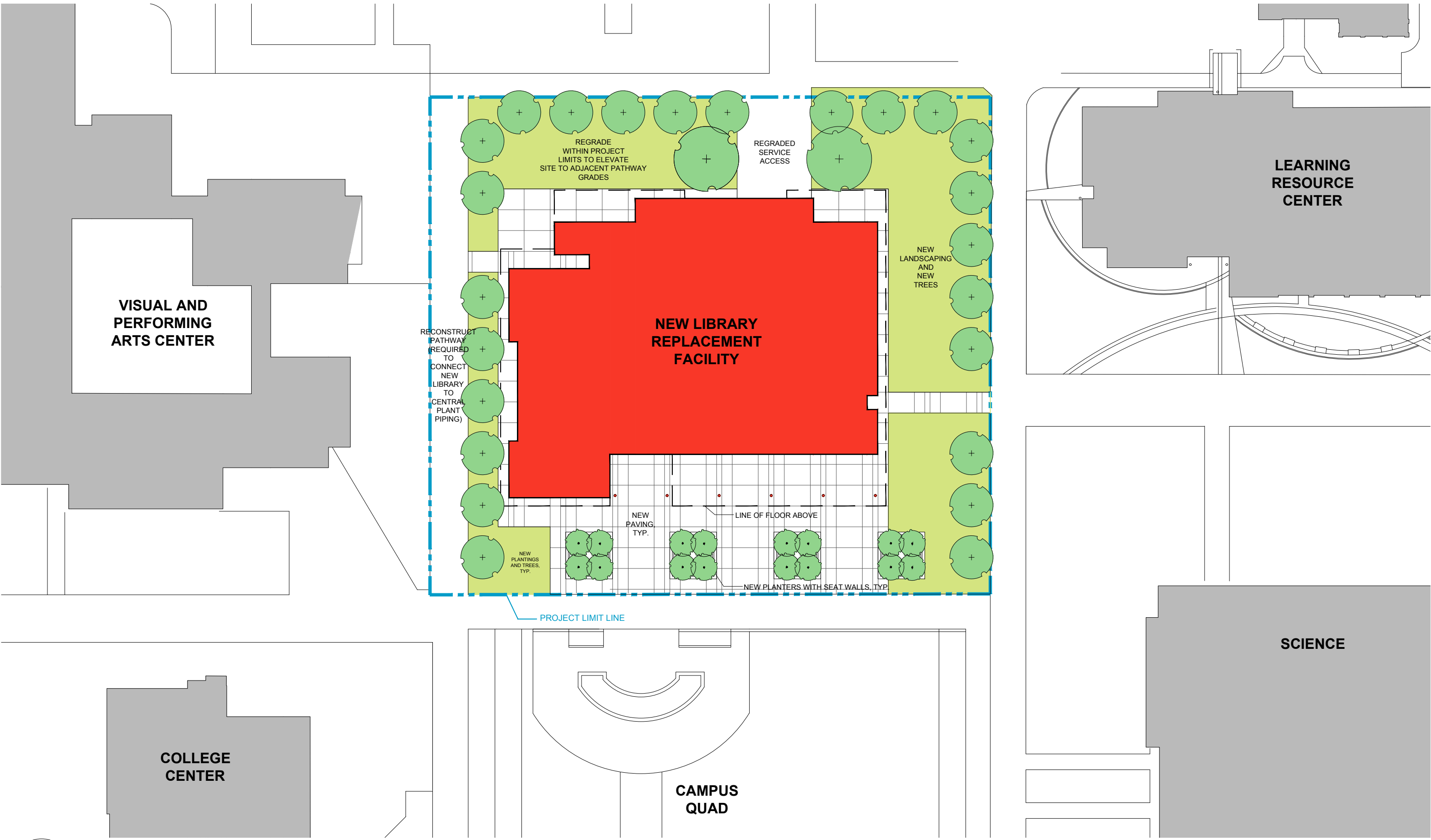


10.1 LIBRARY REPLACEMENT MODERNIZATION FINAL PROJECT PROPOSAL CAMPUS PLAN

LOS RIOS COMMUNITY COLLEGE DISTRICT - COSUMNES RIVER COLLEGE

1" = 100' - 0"

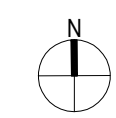


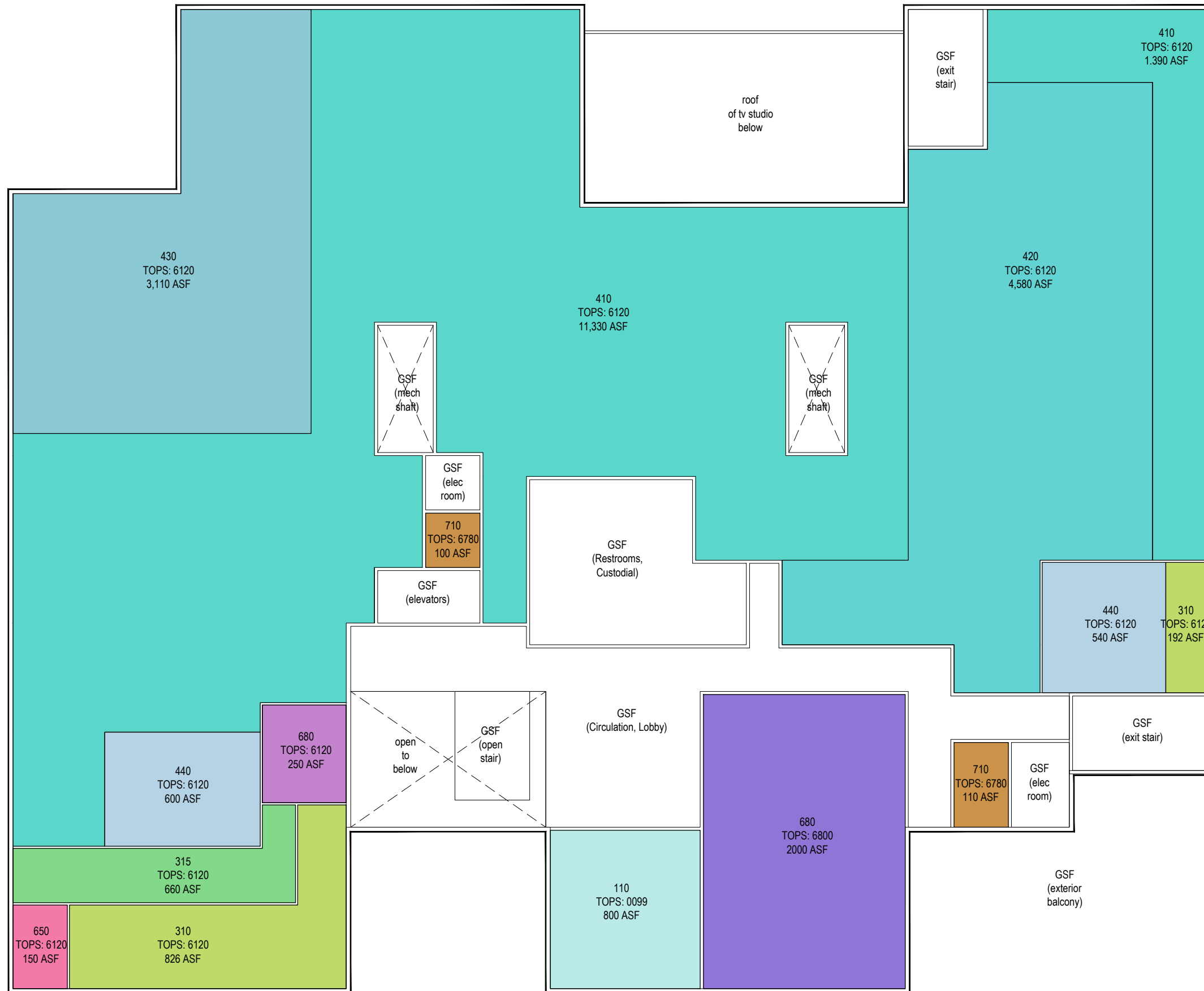




ROOM TOP TYPE	ROOM TOP	DESCRIPTION	LEVEL 1 ASF	LEVEL 2 ASF	TOTAL ASF
	110	0099 GENERAL ASSIGNMENT	4,660	800	5,460
	210	0604 RADIO AND TELEVISION	1,250		1,250
	210	1700 MATHEMATICS	1,000		1,000
	215	0604 RADIO AND TELEVISION	770		770
	310	0604 RADIO AND TELEVISION	200		200
	310	6110 LEARNING CENTER	620		620
	310	6120 LIBRARY	120	1,018	1,138
	310	6499 OTHER STUDENT SVCS	1,492		1,492
	315	6120 LIBRARY		660	660
	410	6110 LEARNING CENTER	700		700
	410	6120 LIBRARY		12,720	12,720
	410	6499 OTHER STUDENT SVCS	525		525
	420	6120 LIBRARY		4,580	4,580
	430	6120 LIBRARY		3,110	3,110
	440	6120 LIBRARY		1,140	1,140
	530	0604 RADIO AND TELEVISION	1,370		1,370
	535	0604 RADIO AND TELEVISION	600		600
	535	6130 MEDIA SERVICES	200		200
	640	0099 GENERAL ASSIGNMENT	70		70
	650	6120 LIBRARY		150	150
	650	6499 OTHER STUDENT SVCS.	4,125		4,125
	655	6110 LEARNING CENTER	75		75
	680	0604 RADIO AND TELEVISION	100		100
	680	6120 LIBRARY		250	250
	680	6800 COMMUNITY SERVICES		2,000	2,000
	710	6780 MGMT INFO SYSTEMS	200	210	410
	730	6510 BUILDING MAINTENANCE	150		150
TOTALS			18,227 ASF	26,638 ASF	44,865 ASF 70,000 GSF

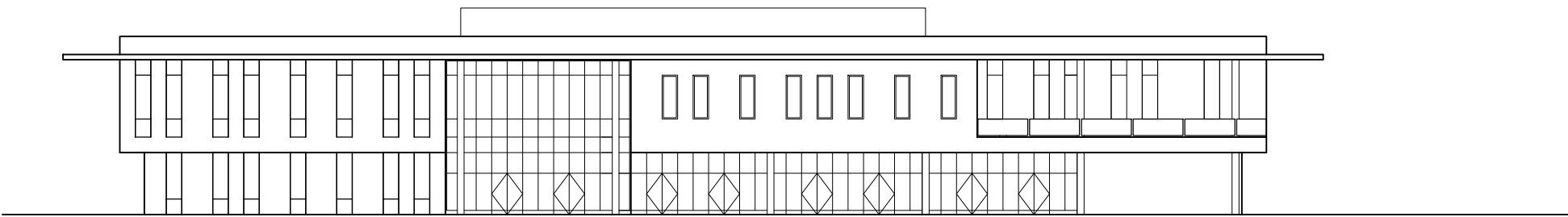
1" = 20' - 0"



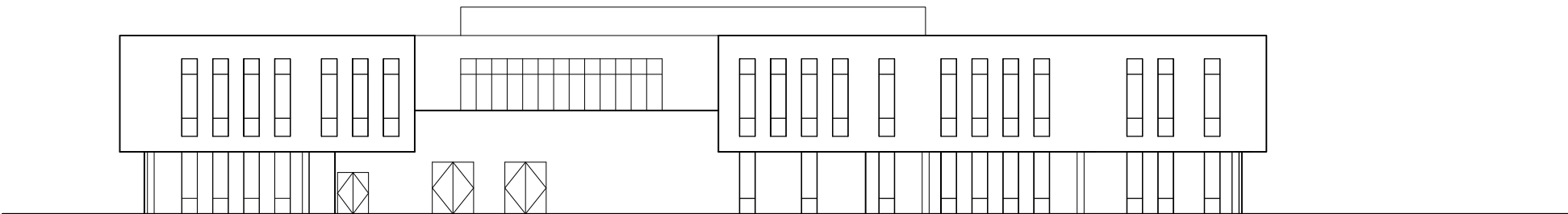


ROOM TOP TYPE	ROOM TOP	DESCRIPTION	LEVEL 1 ASF	LEVEL 2 ASF	TOTAL ASF
	110	0099 GENERAL ASSIGNMENT	4,660	800	5,460
	210	0604 RADIO AND TELEVISION	1,250		1,250
	210	1700 MATHEMATICS	1,000		1,000
	215	0604 RADIO AND TELEVISION	770		770
	310	0604 RADIO AND TELEVISION	200		200
	310	6110 LEARNING CENTER	620		620
	310	6120 LIBRARY	120	1,018	1,138
	310	6499 OTHER STUDENT SVCS	1,492		1,492
	315	6120 LIBRARY		660	660
	410	6110 LEARNING CENTER	700		700
	410	6120 LIBRARY		12,720	12,720
	410	6499 OTHER STUDENT SVCS	525		525
	420	6120 LIBRARY		4,580	4,580
	430	6120 LIBRARY		3,110	3,110
	440	6120 LIBRARY		1,140	1,140
	530	0604 RADIO AND TELEVISION	1,370		1,370
	535	0604 RADIO AND TELEVISION	600		600
	535	6130 MEDIA SERVICES	200		200
	640	0099 GENERAL ASSIGNMENT	70		70
	650	6120 LIBRARY		150	150
	650	6499 OTHER STUDENT SVCS.	4,125		4,125
	655	6110 LEARNING CENTER	75		75
	680	0604 RADIO AND TELEVISION	100		100
	680	6120 LIBRARY		250	250
	680	6800 COMMUNITY SERVICES		2,000	2,000
	710	6780 MGMT INFO SYSTEMS	200	210	410
	730	6510 BUILDING MAINTENANCE	150		150
TOTALS			18,227 ASF	26,638 ASF	44,865 ASF 70,000 GSF

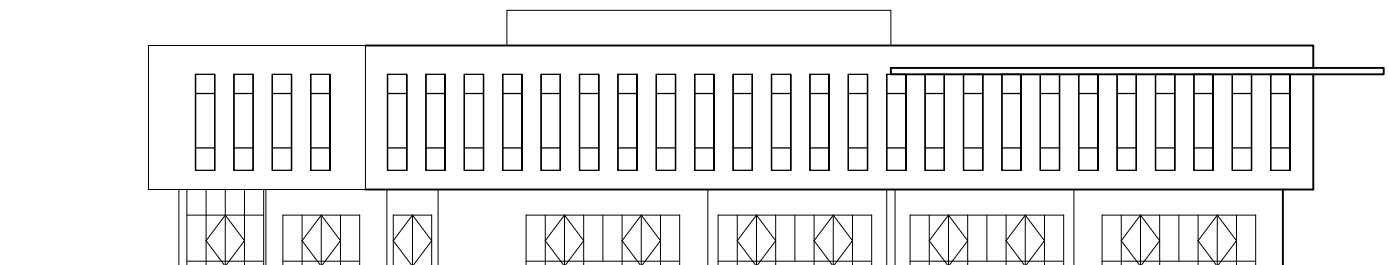




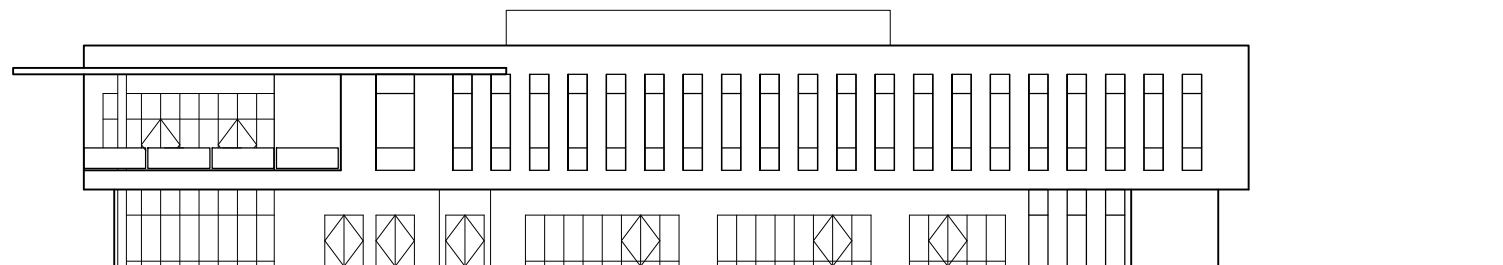
SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION

Los Rios Community College District (230)

Cosumnes River College (232)

Project: Library Replacement Modernization – EPI : 5860

Rm Type	Description	TOP Code	Department	ASF	Sec. ASF	Increase In Space	Equip. Cost/ASF	Total Allowable Cost
110	Classroom	0099	General Assignment	5,460	0	5,460	\$27.4	\$149,604
110	Classroom	0099	General Assignment	0	7,081	-7,081	\$27.4	\$0
110	Classroom	4900	Interdisciplinary Studies	0	2,525	-2,525	\$27.4	\$0
210	Class Lab	0604	Radio and Television	1,250	0	1,250	\$48.05	\$60,063
210	Class Lab	0604	Radio and Television	0	1,541	-1,541	\$48.05	\$0
210	Class Lab	0702	Computer Information Systems	0	542	-542	\$398.35	\$0
210	Class Lab	1700	Mathematics	1,000	0	1,000	\$52.21	\$52,210
210	Class Lab	1701	Mathematics, General	0	1,198	-1,198	\$52.21	\$0
215	Class Lab Service	0604	Radio and Television	770	0	770	\$48.05	\$36,999
215	Class Lab Service	0604	Radio and Television	0	736	-736	\$48.05	\$0
230	Individual Study Lab	0604	Radio and Television	0	253	-253	\$48.05	\$0
235	Individual Lab Service	0604	Radio and Television	0	53	-53	\$48.05	\$0
310	Office	0099	General Assignment	0	2,845	-2,845	\$42.84	\$0
310	Office	0602	Journalism	0	264	-264	\$42.84	\$0
310	Office	0604	Radio and Television	200	0	200	\$42.84	\$8,568
310	Office	6110	Learning Center (Learning Resource Center)	0	835	-835	\$48.88	\$0
310	Office	6110	Learning Center (Learning Resource Center)	620	0	620	\$48.88	\$30,306
310	Office	6120	Library	1,138	0	1,138	\$48.88	\$55,625
310	Office	6120	Library	0	698	-698	\$48.88	\$0
310	Office	6310	Counseling Services	0	1,357	-1,357	\$48.88	\$0
310	Office	6399	Other Counseling and Guidance	0	414	-414	\$48.88	\$0
310	Office	6430	Extended Opportunity Programs and Services (EOPS)	0	2,465	-2,465	\$48.88	\$0
310	Office	6450	Student Personnel Administration	0	78	-78	\$48.88	\$0
310	Office	6499	Other Student Services	1,492	0	1,492	\$48.88	\$72,929
315	Office Service	0099	General Assignment	0	672	-672	\$42.84	\$0
315	Office Service	0602	Journalism	0	66	-66	\$42.84	\$0
315	Office Service	6120	Library	660	0	660	\$48.88	\$32,261
315	Office Service	6120	Library	0	232	-232	\$48.88	\$0
315	Office Service	6210	Registrations, Transfers, Transcripts, Certificati	0	180	-180	\$48.88	\$0
315	Office Service	6220	Student Records, Statistics and Publications	0	77	-77	\$48.88	\$0
315	Office Service	6310	Counseling Services	0	329	-329	\$48.88	\$0
350	Conference Room	6430	Extended Opportunity	0	411	-411	\$48.88	\$0

			Programs and Services (EOPS)					
410	Read/Study Room	0602	Journalism	0	533	-533	\$0	\$0
410	Read/Study Room	6110	Learning Center (Learning Resource Center)	700	0	700	\$64.3	\$45,010
410	Read/Study Room	6120	Library	0	14,825	-14,825	\$64.3	\$0
410	Read/Study Room	6120	Library	12,720	0	12,720	\$64.3	\$817,896
410	Read/Study Room	6499	Other Student Services	525	0	525	\$64.3	\$33,758
420	Stack	6120	Library	4,580	0	4,580	\$64.3	\$294,494
430	Library - Electronic Carrels	6120	Library	3,110	0	3,110	\$398.35	\$1,238,869
440	Processing Room	6120	Library	1,140	0	1,140	\$398.35	\$454,119
440	Processing Room	6120	Library	0	1,224	-1,224	\$398.35	\$0
455	Study Service	6120	Library	0	559	-559	\$0	\$0
530	Audio/Visual, Radio, TV	0604	Radio and Television	0	302	-302	\$0	\$0
530	Audio/Visual, Radio, TV	0604	Radio and Television	1,370	0	1,370	\$191.26	\$262,026
530	Audio/Visual, Radio, TV	4900	Interdisciplinary Studies	0	766	-766	\$0	\$0
530	Audio/Visual, Radio, TV	6020	Course and Curriculum Development	0	541	-541	\$0	\$0
535	A/V, Radio, TV Service	0604	Radio and Television	600	0	600	\$191.26	\$114,756
535	A/V, Radio, TV Service	6110	Learning Center (Learning Resource Center)	0	314	-314	\$0	\$0
535	A/V, Radio, TV Service	6130	Media Services	200	0	200	\$191.26	\$38,252
535	A/V, Radio, TV Service	6130	Media Services	0	471	-471	\$191.26	\$0
615	Assembly Service	0099	General Assignment	0	140	-140	\$2.14	\$0
615	Assembly Service	0604	Radio and Television	0	338	-338	\$0	\$0
640	Lactation Room	0099	General Assignment	70	0	70	\$87.28	\$6,110
650	Lounge	6120	Library	150	0	150	\$44.4	\$6,660
650	Lounge	6499	Other Student Services	4,125	0	4,125	\$44.4	\$183,150
655	Lounge Service	6110	Learning Center (Learning Resource Center)	75	0	75	\$44.4	\$3,330
680	Meeting Room	0604	Radio and Television	100	0	100	\$44.4	\$4,440
680	Meeting Room	6120	Library	250	0	250	\$44.4	\$11,100
680	Meeting Room	6800	Community Services	2,000	0	2,000	\$44.4	\$88,800
710	Data Processing/Computer	6780	Management Information Services	410	0	410	\$398.35	\$163,324
730	Storage	6510	Building Maintenance and Operation Support	150	0	150	\$12.47	\$1,871
TOTAL		-	-	44,865	44,865	0	-	\$4,266,527

12.1 JUSTIFICATION FOR ADDITIONAL COSTS EXCEEDING GUIDELINES

Construction (including Group I equipment), Equipment (Group II and Furniture)

District: Los Rios CCD

College: Cosumnes River College

Project: Library Replacement Modernization

Please use this and additional pages or diagrams to explain and justify items of cost not easily explained on other forms. Examples of items needing justification: site improvements, unusual or high-cost construction methods, or items of equipment that exceed ASF cost guidelines. This form, when completed, supplements both the "Quantities and Unit Costs Supporting the JCAF 32" and the "Guidelines-based Group II Equipment Cost Estimate" forms.

The District has added additional funds as non-state supportable to cover costs over the JCAF 32 cost guidelines. These costs are the differential between a professionally commissioned construction cost estimate and the state-generated cost estimate. The construction cost differential also triggers some non-state supportable soft costs, which are also covered by the District. The total non-state supportable amount (including soft costs) covered by the District is \$20,924,807. Below, we explain the basis for the additional costs exceeding guidelines.

Cost estimates were assembled by the architect for this project, using the cost guidelines provided by the State Chancellor's Office, district data, and professional cost estimating. Hard construction costs were developed by engineering and construction management professionals utilizing the FPP program, and conceptual drawings, and data from recently completed construction projects at Los Rios Community College District campuses and the Sacramento region. The estimate is based on local prevailing wage construction costs and raw materials costs and does not include escalation. Pricing assumes competitive bidding for all sub-trades.

Estimated hard construction costs for the Library Replacement Modernization project exceed current state guidelines at CCCI 10258. Although all proposed scope of work is state supportable the proposed project is estimated to exceed maximum state guidelines for hard construction by \$17,577,718. State guidelines at CCI 10258 put the construction costs at \$50,031,097 in today's dollars. According to the District's professional estimator the building-related construction cost is \$67,608,816 in today's dollars. The difference between these two estimates is \$17,577,718. These costs are related to the realities of the Sacramento construction market, reflecting the following:

- Sacramento is the 4th highest city in the USA for unionization, which makes local labor more expensive.¹
- California is experiencing "*one of the most severe construction labor shortages in the country. While it has a strong housing market and high demand for infrastructure projects, finding skilled workers remains a significant hurdle. California's stringent building codes, environmental regulations, and high costs for labor make it a challenging state for construction firms.*"²

¹ See: <https://constructioncoverage.com/research/most-unionized-cities-in-america>

² See: <https://www.linkedin.com/pulse/worst-states-construction-industry-going-2026-colt-kierstead-rtruc>

- The 2025 Los Angeles Fire has made both labor and materials more expensive as these resources are diverted to rebuilding efforts in the fire areas.
- Labor shortages were exacerbated in 2026 due to immigration enforcement and intense competition for labor needed to build artificial intelligence data center hubs.

Accounting for the hard construction cost estimate difference (and associated soft costs) above State guidelines as non-state supportable results in the State paying for 38% of the project costs and the District paying 62% of those costs.

**Los Rios CCD
Cosumnes River College Library Seismic Evaluation and Conceptual Retrofit Study
Sacramento, CA**

Seismic Evaluation and Conceptual Retrofit Report



April 30, 2026

Degenkolb Job Number C6892009.00



04/30/2026

David Miller, SE

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Appendix B – ASCE 41-23 Tier 1 Evaluation Checklists

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Executive Summary

This report summarizes the seismic evaluation of the Library building located on the campus of Consumnes River College in Sacramento, California. It includes a Tier 1 analysis of the full structure in accordance with the 2025 California Existing Building Code (CEBC).

The Tier 1 evaluation noted potential deficiencies at the following locations:

- The diaphragms are not adequately attached to the masonry shear walls.
- Shear walls at the mechanical room do not extend down to the foundation.
- The mezzanine level has inadequate lateral support along the north edge.

The following items require mitigation in order for the building to meet the performance levels outlined in the code:

- Strengthening of the diaphragm connections at masonry shear walls.
- Addition of a braced frame and associated column and collector strengthening at the mezzanine level.
- Column strengthening below the mechanical space shear walls.

Schematic descriptions of the required retrofit details are included at the end of this report.

1.0 General

1.1 Introduction

This report provides a summary of the seismic evaluation of the Library Building on the campus of the Consumnes River College in Sacramento, CA and provides an overview of the following:

1. The 2025 CEBC requirements for seismic safety.
2. A description of the existing structure.
3. A summary of the ASCE 41-23 Tier 1 evaluation performed.
4. A schematic description of proposed retrofit details.

1.2 Summary of CA Building Code Requirement

This evaluation is being performed to be included in the Final Project Proposal report prepared for the proposed modernization and replacement of the Library. Per Section 4-309(c) of the California Administrative Code (CAC), for all projects over \$100,000, if the total cost of an alteration or addition exceeds 50% of the replacement value of an existing building, the existing building must be evaluated and retrofitted in accordance with the current building code. The total cost of the building renovations is expected to exceed 50% of the replacement value of the existing building, thereby triggering the evaluation and retrofit.

The seismic evaluation and retrofit design are based on ASCE 41-23 in accordance with Section 317 of the California Existing Building Code (CEBC). ASCE 41 utilizes a 3-tiered framework for building evaluation. A Tier 1 evaluation is intended to be a high-level evaluation to identify structural characteristics that have performed poorly or collapsed in previous earthquakes. This evaluation process relies on quick calculations and structural detailing checklists and does not include comprehensive building analysis.

Once a structure has been identified as having the characteristics of a potentially poor performing structure during a large earthquake, a more detailed evaluation is required. These detailed evaluations are typically completed per ASCE 41-23, Tier 2 or Tier 3:

- Tier 2: This evaluation procedure is a deficiency-only linear analysis that provides a method for the engineer to only evaluate in detail the specific potential structural deficiencies identified during the Tier 1 evaluation. Only select structures are eligible for such an evaluation. For eligible structures, a Tier 2 retrofit will then only address the select deficiencies evaluated during the Tier 2 evaluation. This approach allows “minor” deficiencies that will not overly impact the seismic performance of the structure to potentially remain.

- Tier 3: This evaluation procedure can be used to evaluate any structure. A full building analysis is required such that each individual component is evaluated for two earthquake hazard levels and related seismic performance objectives. Different types of evaluation methods are also available with differing degrees of complexity. The engineer determines which procedure is applicable for a given structure based on the specific features of a given structure. Methodologies range from more simplistic linear analysis using equivalent lateral force procedures or a dynamic modal analysis to estimate component demands to complex nonlinear response history analysis where component post-yield response to earthquake ground motions are explicitly simulated and analyzed.

Section 317.5 of the CEBC requires a Tier 3 analysis based on two levels of performance. Table 317.5 lists Level 1 and Level 2 performance criteria, and the building must meet both performance levels. A more detailed description of the performance criteria is included later in this report.

For the purposes of this report, a “Tier 1-plus” evaluation was performed. Our office performed all of the checks per the Tier 1 procedure along with additional analysis of the diaphragms based on engineering judgement and experience. Our goal was to provide the District with a conceptual retrofit scheme to assist with future construction cost planning. A full Tier 3 analysis will be performed during the project design phase if the building is to be retrofitted rather than replaced.

1.3 Description of Existing Structure

The CRC Library is a three-story building constructed in 1969. The roof and floor diaphragms consist of concrete over metal deck supported by wide-flange steel beams spanning between steel girders and reinforced grouted brick masonry bearing walls. The steel girders are supported by wide-flange steel columns bearing on concrete spread footings. The lateral force resisting system (LFRS) consists of concrete diaphragms spanning to reinforced masonry shear walls, bearing on concrete line footings. The buildings were likely designed under the 1967 Uniform Building Code.

Our office reviewed the original architectural plans by Starks Jones Nacht and Lewis and structural plans by Cox Liske Lionakis and Beaumont, dated December 2, 1968. We also conducted an on-site condition assessment on April 28, 2026, to visually observe the existing building conditions.



Figure 1 – CRC Library Building

1.4 Condition Assessment of Existing Structure

The building appears to be in general conformance with the construction documents and building practices of the time, and generally in good physical condition.

2.0 Codes, Standards, and Reference Documents

2.1 Governing Code

ASCE 41-23 is the referenced standard under the 2025 California Building Code for seismic evaluation and rehabilitation of existing buildings.

2.2 Reference Documents

The following reference documents were used for this evaluation:

- [2025 CAC] *California Administrative Code*, 2025, California Building Standards Commission, Sacramento, California
- [2025 CBC] *California Building Code*, 2025, California Building Standards Commission, Sacramento, California
- [2025 CEBC] *California Existing Building Code*, 2025, California Building Standards Commission, Sacramento, California
- [ASCE 41-23] *Seismic Evaluation and Retrofit of Existing Buildings*, 2023, American Society of Civil Engineers, Reston, Virginia
- [ASCE 7-22] *Minimum Design Loads and Associated Criteria for Buildings and Other Structures*, American Society of Civil Engineers, Reston, Virginia
- [ACI 318-19] *Building Code Requirements for Structural Concrete*, 2019, American Concrete Institute, Farmington Hills, Michigan
- [ASIC 360-22] *Specification for Structural Steel Buildings*, 2022, American Institute of Steel Construction, Chicago, Illinois
- *Consumnes River College Phase I Construction – Consumnes River College - Record Drawings*, 1968, Stark Jones Nacht & Lewis, and Cox Liske Lionakis & Beaumont

3.0 Seismic Evaluation of the Existing Structure

3.1 Seismic Hazard and Acceptance Criteria

The intent of the ASCE 41 Tier 1 evaluation completed under this study is to determine if the existing CRC Library building complies with the current governing building code. To be compliant, it must be demonstrated that the expected seismic performance of the structure satisfies the CBC Part 10 Chapter 3 requirements for Risk Category III buildings. CEBC table 317.5 requires Life Safety performance at the BSE-1E hazard level earthquake, defined as the 20% in 50-year earthquake event, and Collapse Prevention performance at the BSE-2N hazard level, defined as the risk-targeted maximum considered earthquake per Section 11.4 of ASCE 7. The building components evaluated in this Tier 1 analysis were verified at both seismic hazards (BSE-1E and BSE-2N) with acceptance criteria per their respective performance objectives (life safety and collapse prevention). See the following excerpt from the CEBC below in Figure 2 along with a graphical description of building performance levels in Figure 3. Note that for our analysis, we conservatively assumed this building is classified as DSA-SS/CC – Risk Category III.

TABLE 317.5—SEISMIC PERFORMANCE REQUIREMENTS^{2, 3} BY BUILDING REGULATORY AUTHORITY AND RISK CATEGORY

BUILDING REGULATORY AUTHORITY	RISK CATEGORY	PERFORMANCE CRITERIA ¹	
		Level 1	Level 2
State-Owned [BSC]	I, II, III	BSE-R, S-3, N-C	BSE-C, S-5, N-D
State-Owned [BSC]	IV	BSE-R, S-1, N-B	BSE-C, S-3, N-D
Division of the State Architect - [DSA-SS]	I	BSE-1N, S-3, N-B	BSE-2N, S-5, N-D
Division of the State Architect - [DSA-SS]	II, III	BSE-1N, S-2, N-B	BSE-2N, S-4, N-D
Division of the State Architect - [DSA-SS] ⁴	IV	BSE-1N, S-1, N-A	BSE-2N, S-3, N-D
Division of the State Architect - [DSA-SS/CC]	I, II	BSE-1E, S-3, N-C	BSE-2N, S-5, N-D
Division of the State Architect - [DSA-SS/CC]	III	BSE-1E, S-3, N-B	BSE-2N, S-5, N-D
Division of the State Architect - [DSA-SS/CC]	IV	BSE-1E, S-1, N-B	BSE-2N, S-3, N-D

1. ASCE 41 provides acceptance criteria (e.g., *m*-factor, rotation) for Immediate Occupancy (S1), Life Safety (S3) and Collapse Prevention (S5), and specifies in Table 2-1 the method to interpolate values for S-2 and S-4. When evaluating for the Hazards Reduced Nonstructural Performance Level, the requirements need not be greater than what would be required by ASCE 7 nonstructural provisions for new construction.
2. Buildings evaluated and retrofitted to meet the structural and nonstructural requirements for a new building as given in the California Building Code as adopted by DSA or BSC, as applicable, are deemed to meet the seismic performance requirements of this section.
3. Buildings complying with the requirements of the exception in Section 319.1 are deemed to meet the seismic performance requirements of this section.
4. State-owned and state-leased essential services buildings are subject to the regulatory authority of DSA-SS per Section 1.9.2.1.

Figure 2 – CEBC Table 317.5 - Seismic Performance Requirements

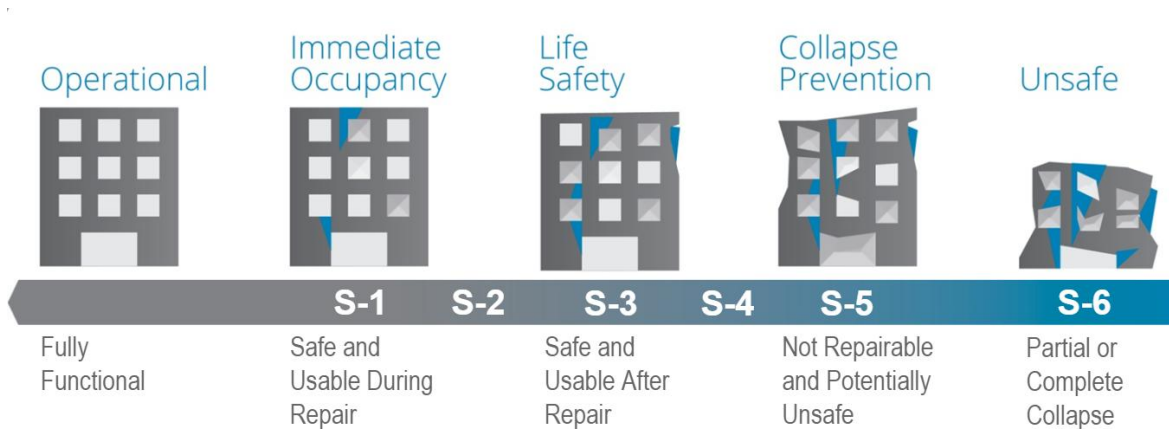


Figure 3 – Building Performance Level Diagram

3.2 Site Seismicity

For the linear static analysis procedure, horizontal response spectra were generated to characterize the BSE-1E and BSE-2N seismic hazard levels in accordance with ASCE 41-23 Section 2.3.2.2 and ASCE 7-22 Section 11.4.5. Response spectrum for the BSE-1E and BSE-2N hazards are plotted below in **Figure 4**.

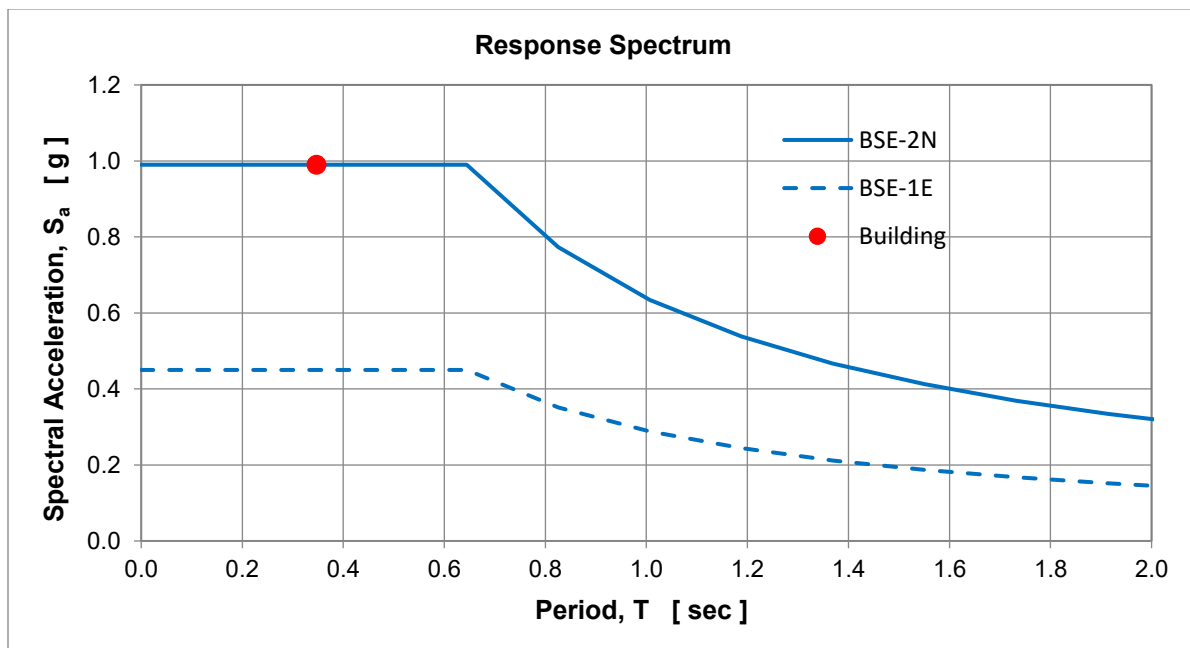


Figure 4 – Seismic Response Spectra for BSE-1E and BSE-2N Hazards

3.3 Summary of ASCE 41-23 Tier 1 Evaluation

The CRC Library was evaluated per ASCE 41-23 Tier 1 procedures. The full checklists can be found in Appendix B of this report. In general, structural elements were found to comply with Tier 1 requirements. Wall stresses determined using Tier 1 “Quick Check” procedures following ASCE 41-23 resulted in acceptable stresses under seismic loading. However, an assessment of the load path of the lateral force resisting elements revealed the following deficiencies:

- Vertical Irregularity – The shear wall present in the mechanical space is discontinued at the mezzanine level and does not extend vertically to the foundation.
- Torsion – The mezzanine level constitutes as cantilevered diaphragm and is laterally unsupported on the north side, leading to potential torsional irregularity.
- Mezzanine – The mezzanine does not contain adequate lateral support.
- Wall Anchorage – Dowels provided for anchorage of masonry walls are not fully developed into the diaphragm slab for out-of-plane loading.
- Diaphragm Connection – Dowels from slabs into the walls are insufficient to transfer seismic forces.

4.0 Schematic Description of Proposed Retrofit

The following section provides a schematic description of the work that is required to retrofit the building to address the load path deficiencies identified by the Tier 1 evaluation. See Appendix A for plans and details.

- Provide a steel braced frame to laterally support the mezzanine. This will include enlarging existing footings, strengthening steel columns, and installing braces at the first and second story below the mezzanine level.
- Provide collector beams to the new braced frame at the mezzanine level along gridline D.
- Reinforce collector connections on gridline 7 at the mezzanine level and relocate the mezzanine bridge beam on this gridline to align with the collectors.
- Strengthen steel columns below mechanical room walls and enlarge footings to support seismic overturning loads.
- Reinforce diaphragm wall connections using steel angles and post-installed concrete anchors into the deck and walls.
- Demolish and replace the atrium stair between gridlines 10 and 11 with new stairs providing a seismic separation at one end.

4.1 Possible Revisions in Retrofit Scope

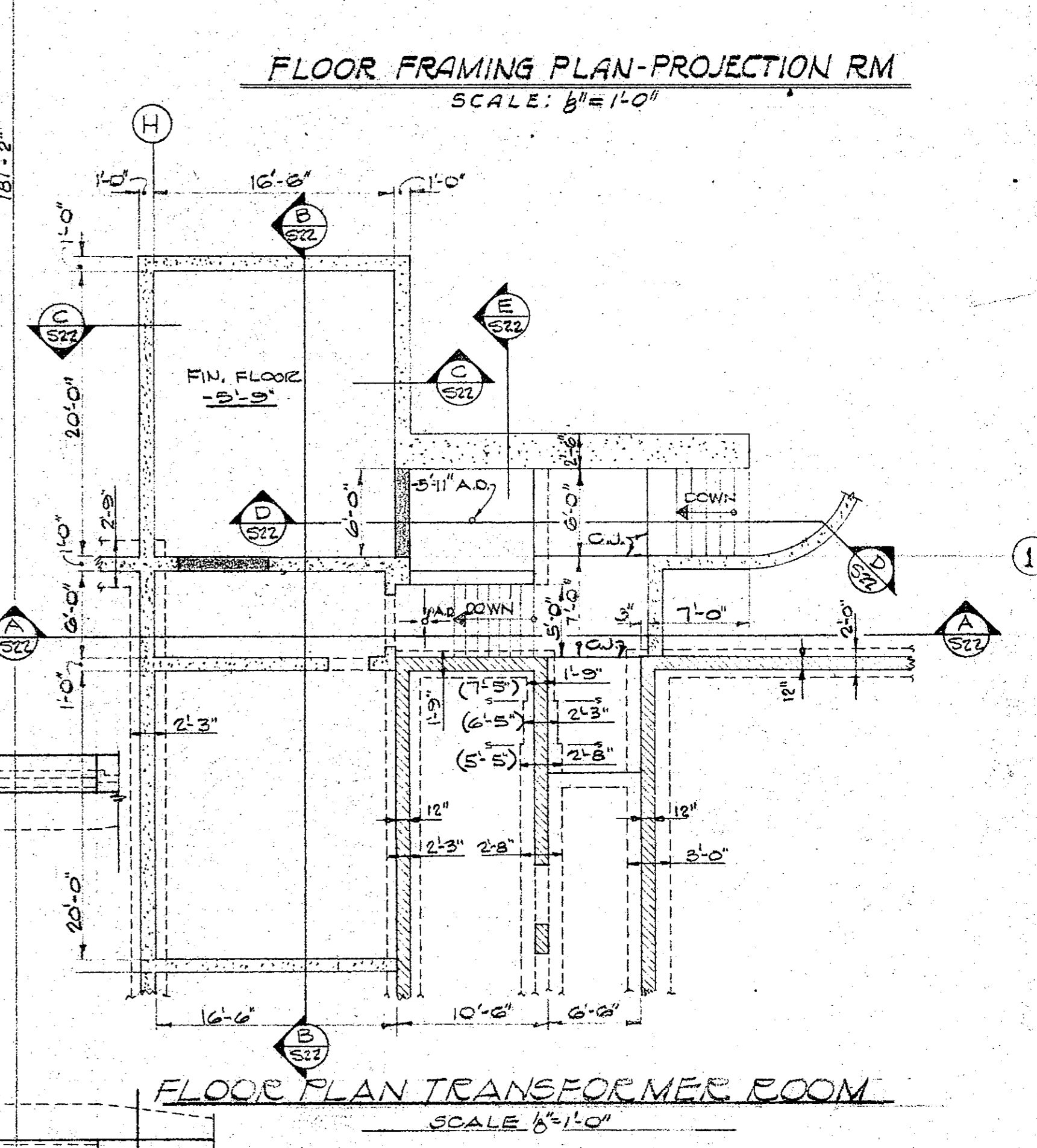
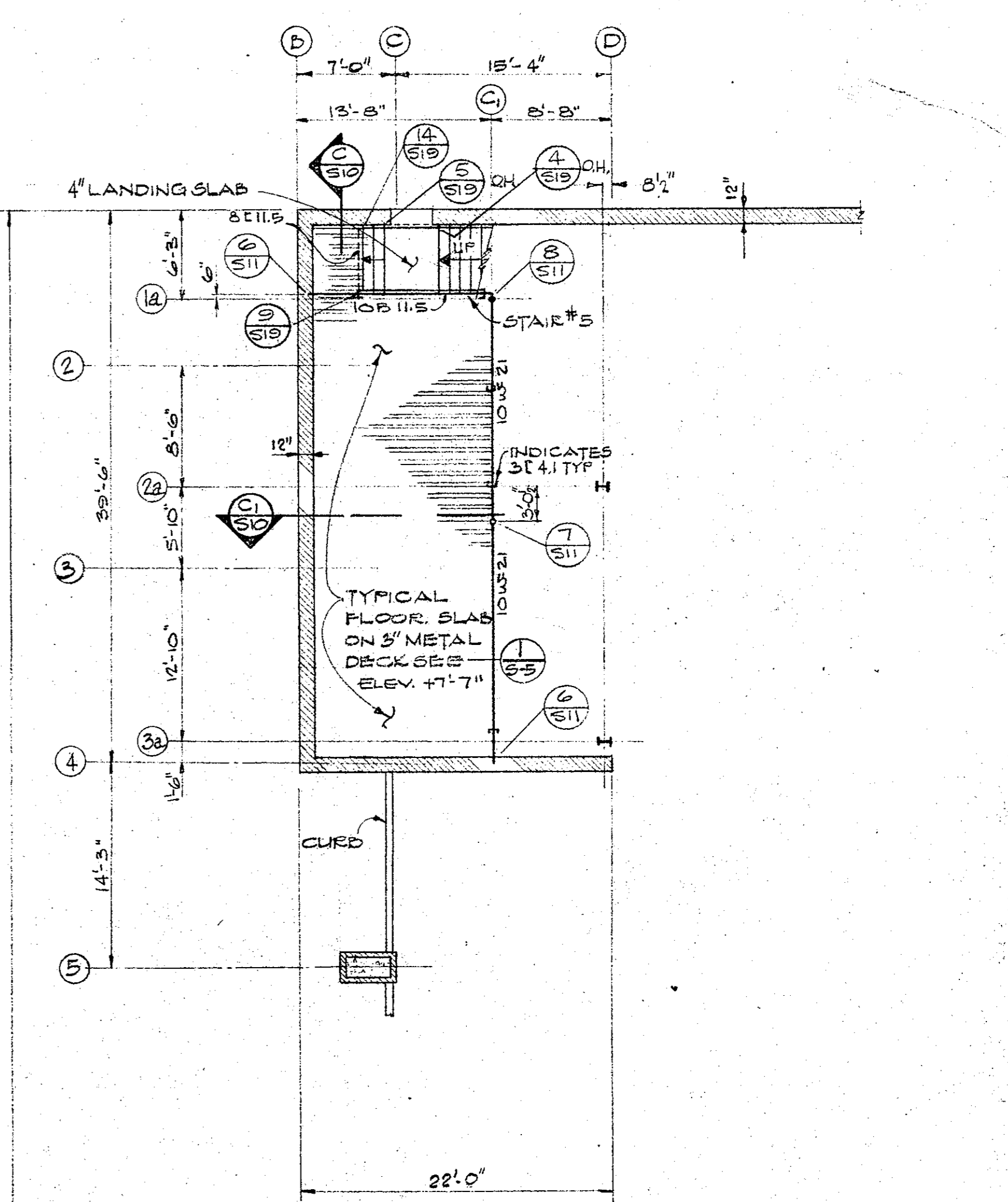
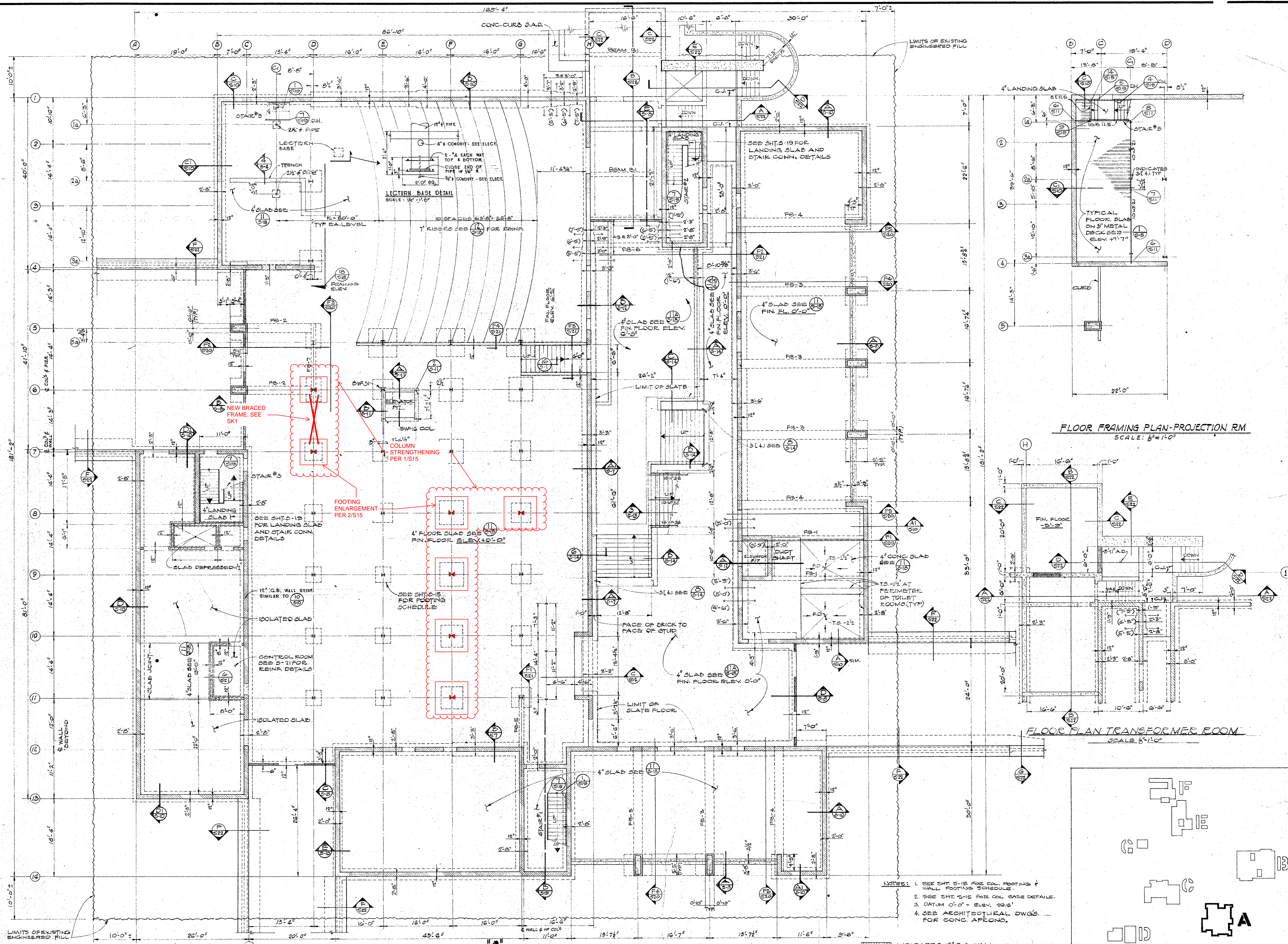
A tier 1 analysis provides a qualitative assessment and limited quantitative analysis of seismic forces within a structure. Evaluation using Tier 1 procedures is intentionally conservative. Consequently, the extent of the retrofit could possibly be reduced following a more detailed analysis. This reduction in scope would likely be limited to identifying specific areas where diaphragm connection strengthening might be omitted, or in reducing the size of added members or strengthening elements. It is unlikely that the elements identified schematically as requiring strengthening would be eliminated from scope all together.

It is also possible that additional retrofit scope may be added as a result of the detailed analysis and DSA review. With this in mind, the District should consider planning for an additional allowance for retrofit costs if the building will be retrofitted.

5.0 Conclusions

The ASCE 41-23 Tier 1 evaluation of the CRC Library identified limited deficiencies in the seismic load path in order to meet a target performance of Life-Safety at the BSE-1E hazard level and Collapse-Prevention at the BSE-2N hazard level. A strengthening scheme was proposed to address these deficiencies. A detailed analysis may justify reducing the extent of strengthening or size of added elements, but it is unlikely to resolve the deficiencies identified by the Tier 1 evaluation all together.

Appendix A – Seismic Retrofit Details



UNIT A
FOUNDATION & FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

INDICATES FOOTING STEP
INDICATES 12" G.B. WALL
INDICATES CURB
INDICATES CONC. WALL
INDICATES WALL BELOW
INDICATES CONC. BLOCK WALL

NOTES:
1. SEE SHIT 5-15 FOR COL. FOOTING & WALL FOOTING SCHEDULE.
2. SEE SHIT 5-15 FOR COL. CASE DETAILS.
3. DATUM 0'-0" = ELEV. 29.5'
4. SEE ARCHITECTURAL DWGS. FOR CONC. AFRONS.

BUILDING KEY PLAN
SCALE: NONE

10 RILBERTON COURT
SACRAMENTO, CALIFORNIA
Zone 9225 • Phone 927-2811

STARKS • JOZENS • NACHT & LEWIS
ARCHITECTS ••• IN ASSOCIATION WITH •••
COX • LISKE • LIONAKIS & BEAUMONT
ARCHITECTS AND ENGINEERS

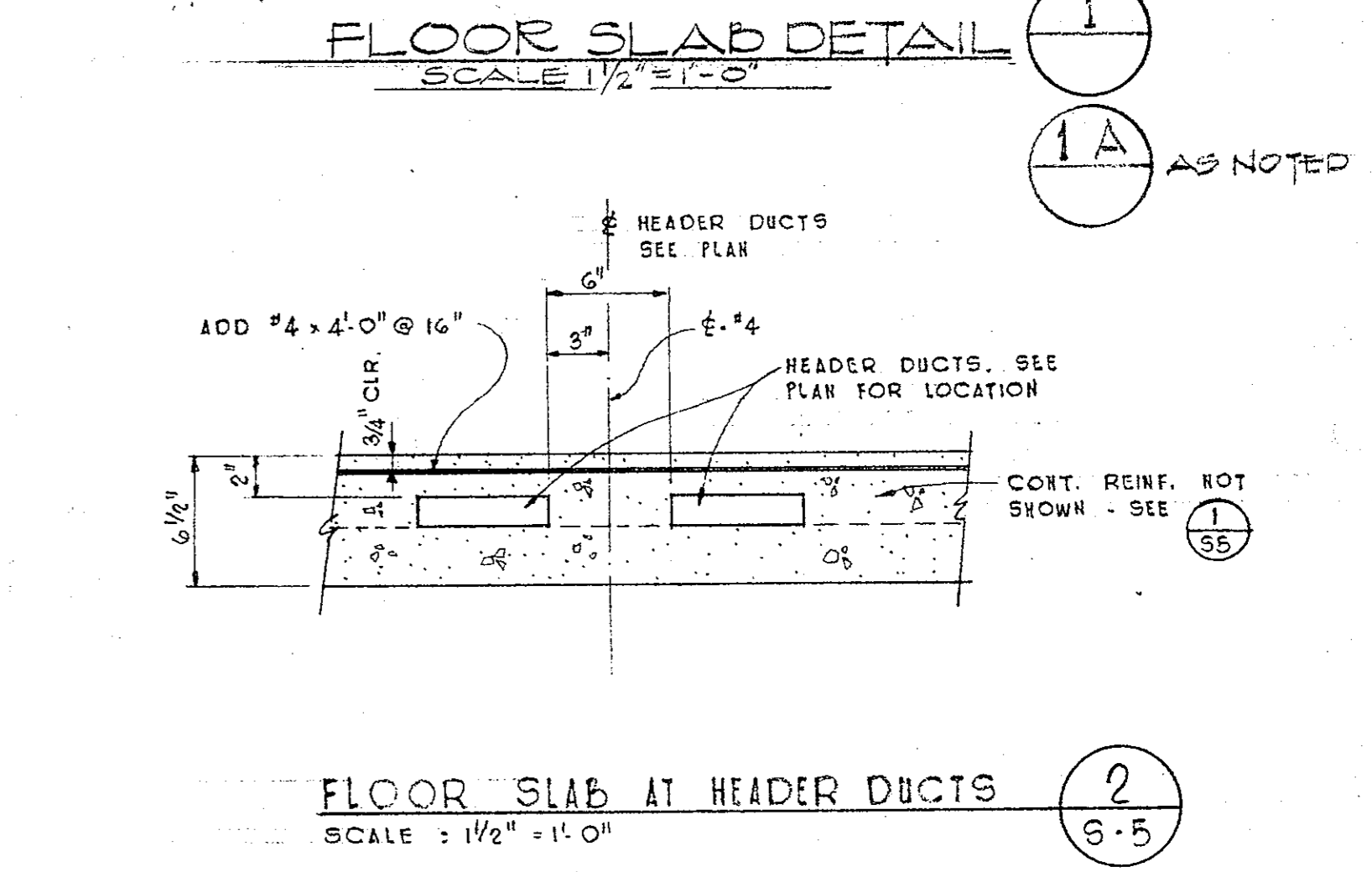
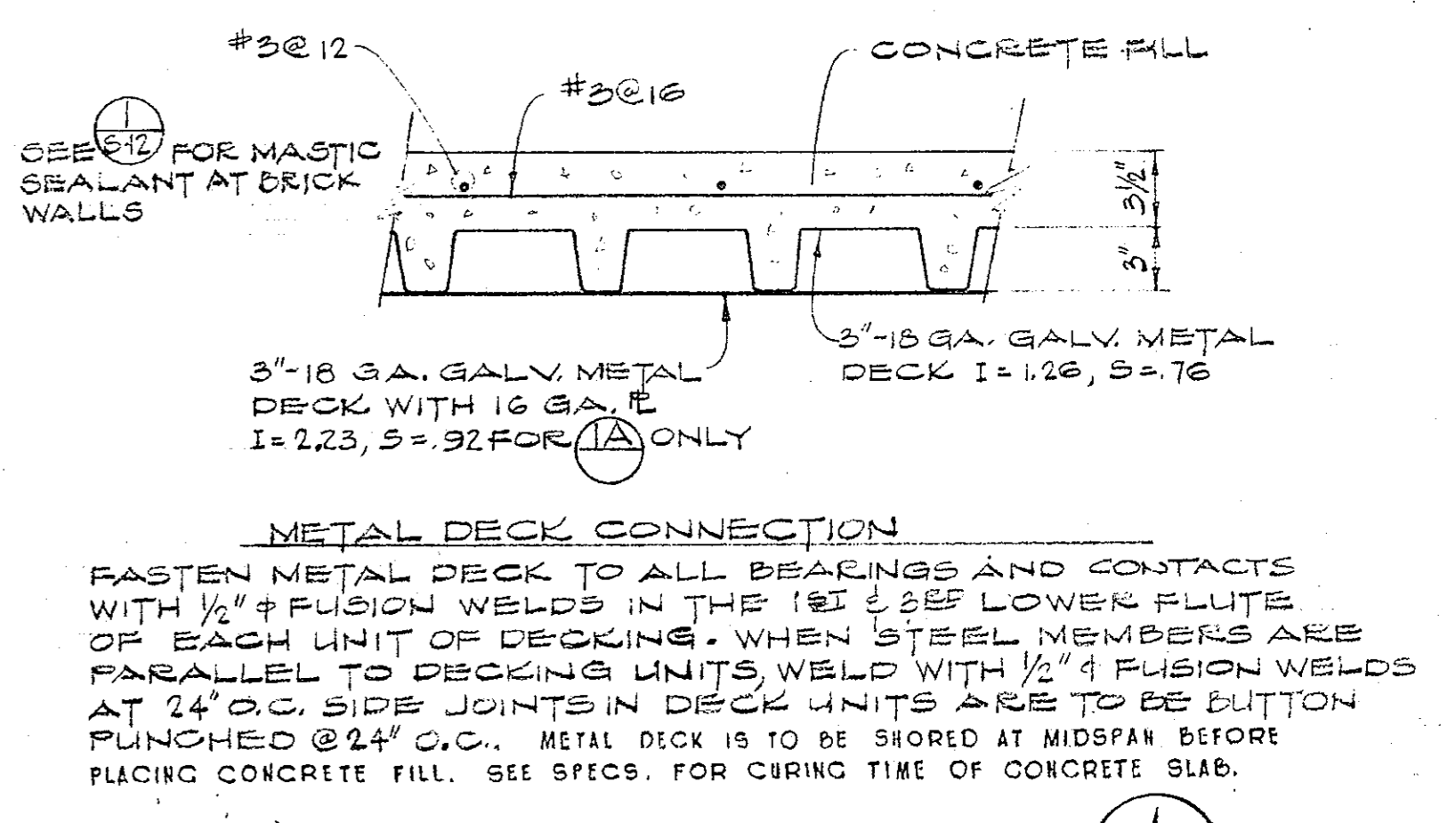
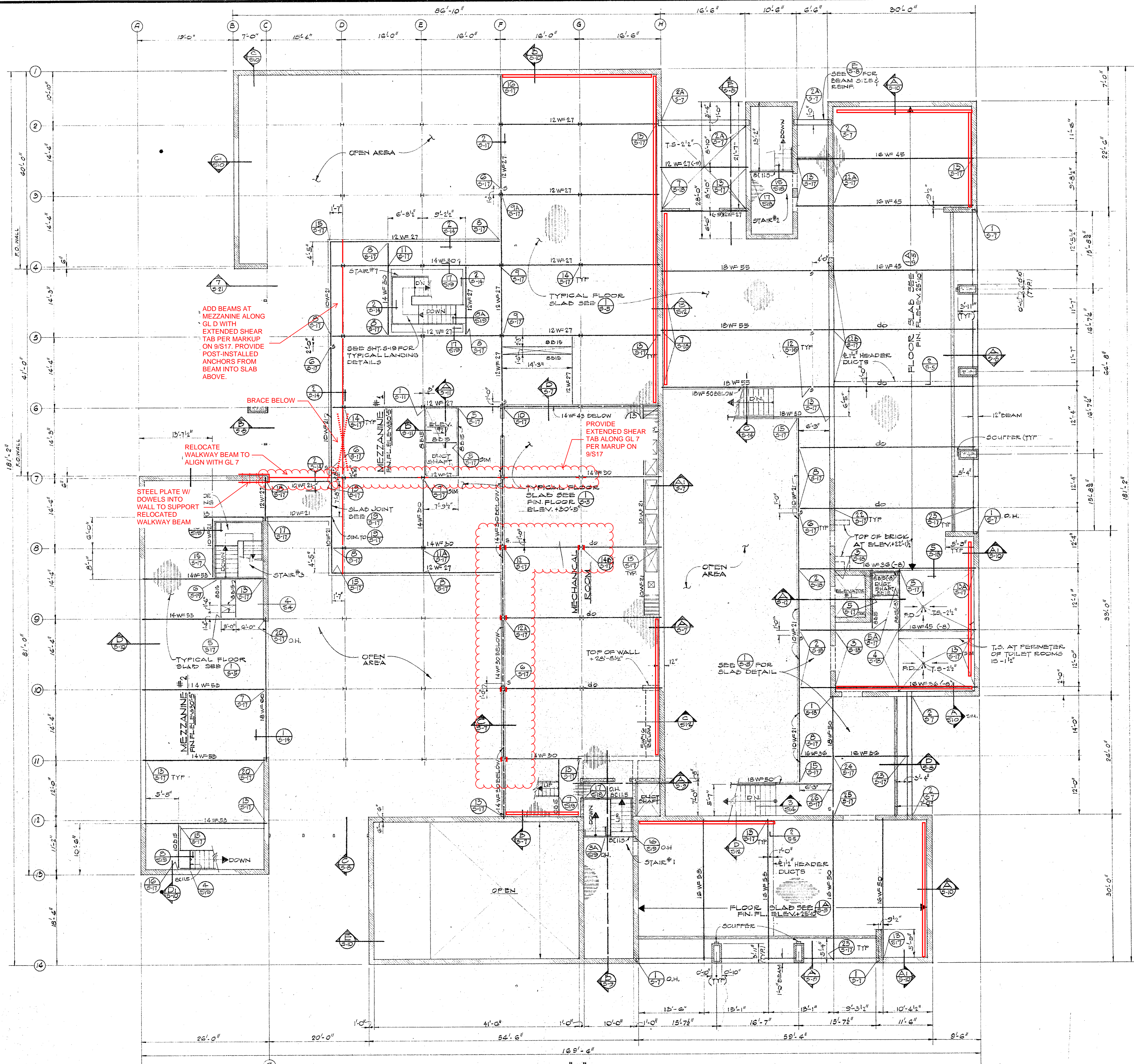
31000
12/27/68
P. J. C. [Signature]

COSUMNES RIVER COLLEGE
CALVINE ROAD & CENTER PARKWAY • SACRAMENTO, CALIFORNIA
LOS RIOS JUNIOR COLLEGE DISTRICT

PHASE I CONSTRUCTION

UNIT A:
FOUNDATION & FIRST FLOOR PLAN

DATE 2 DEC. 1968
SHEET NO. 9
OF 57 SHEETS



ADD BEAMS AT MEZZANINE ALONG GL D WITH EXTENDED SHEAR TAB PER MARKUP ON 9/S17. PROVIDE POST-INSTALLED ANCHORS FROM BEAM INTO SLAB ABOVE.

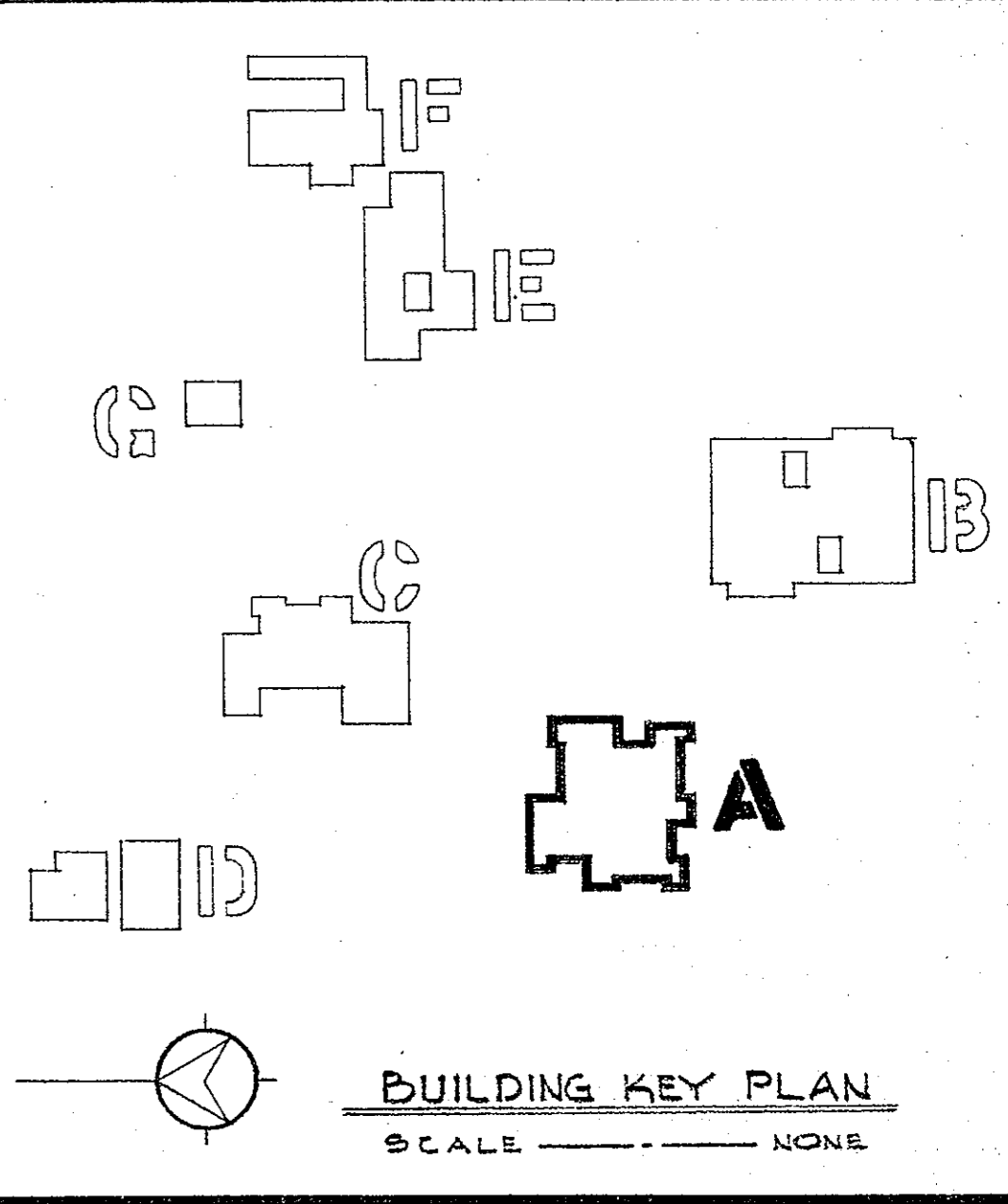
RELOCATE WALKWAY BEAM TO ALIGN WITH GL 7
STEEL PLATE W/ DOWELS INTO WALL TO SUPPORT RELOCATED WALKWAY BEAM

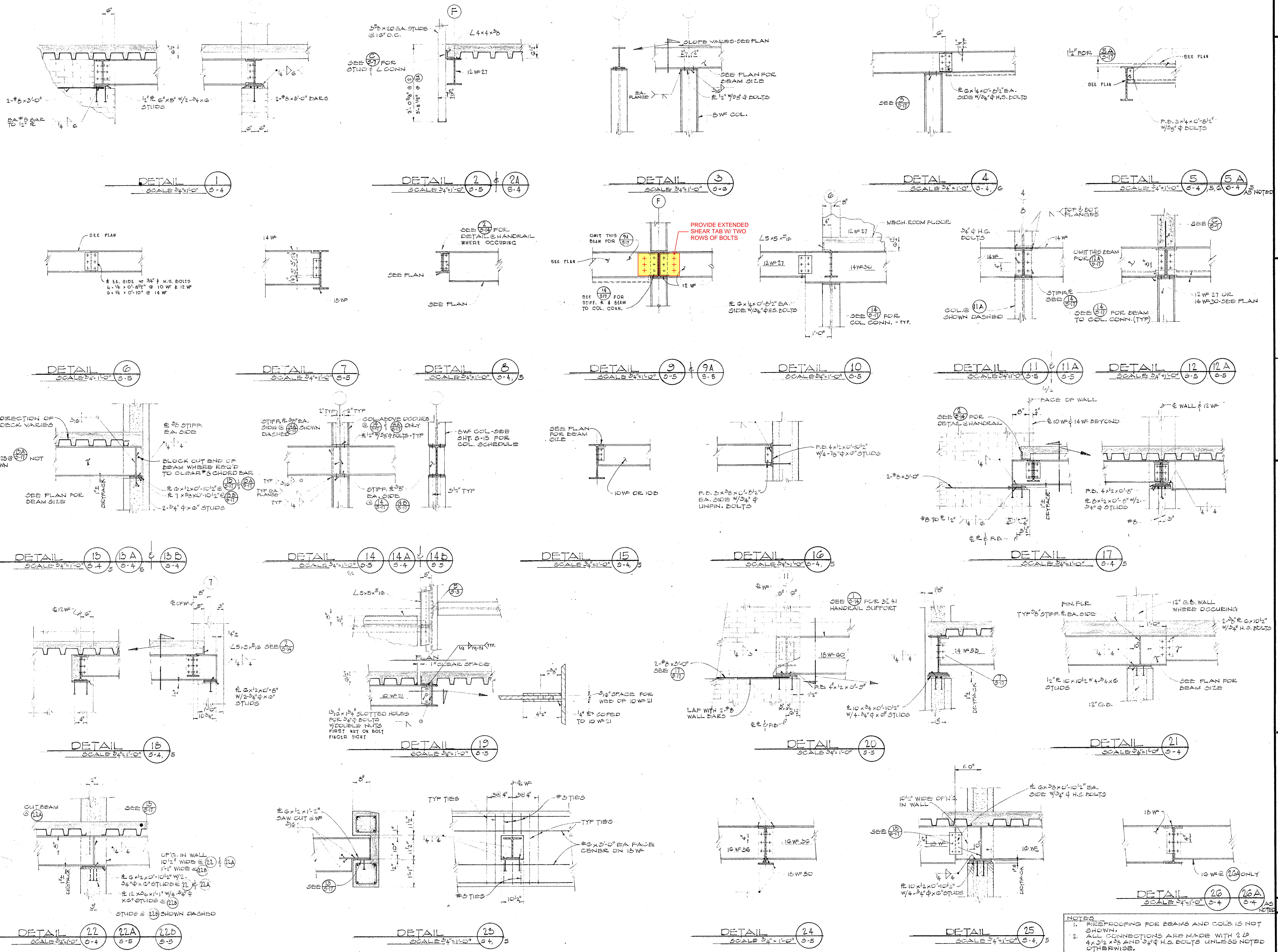
BRACE BELOW

PROVIDE EXTENDED SHEAR TAB ALONG GL 7 PER MARUP ON 9/S17

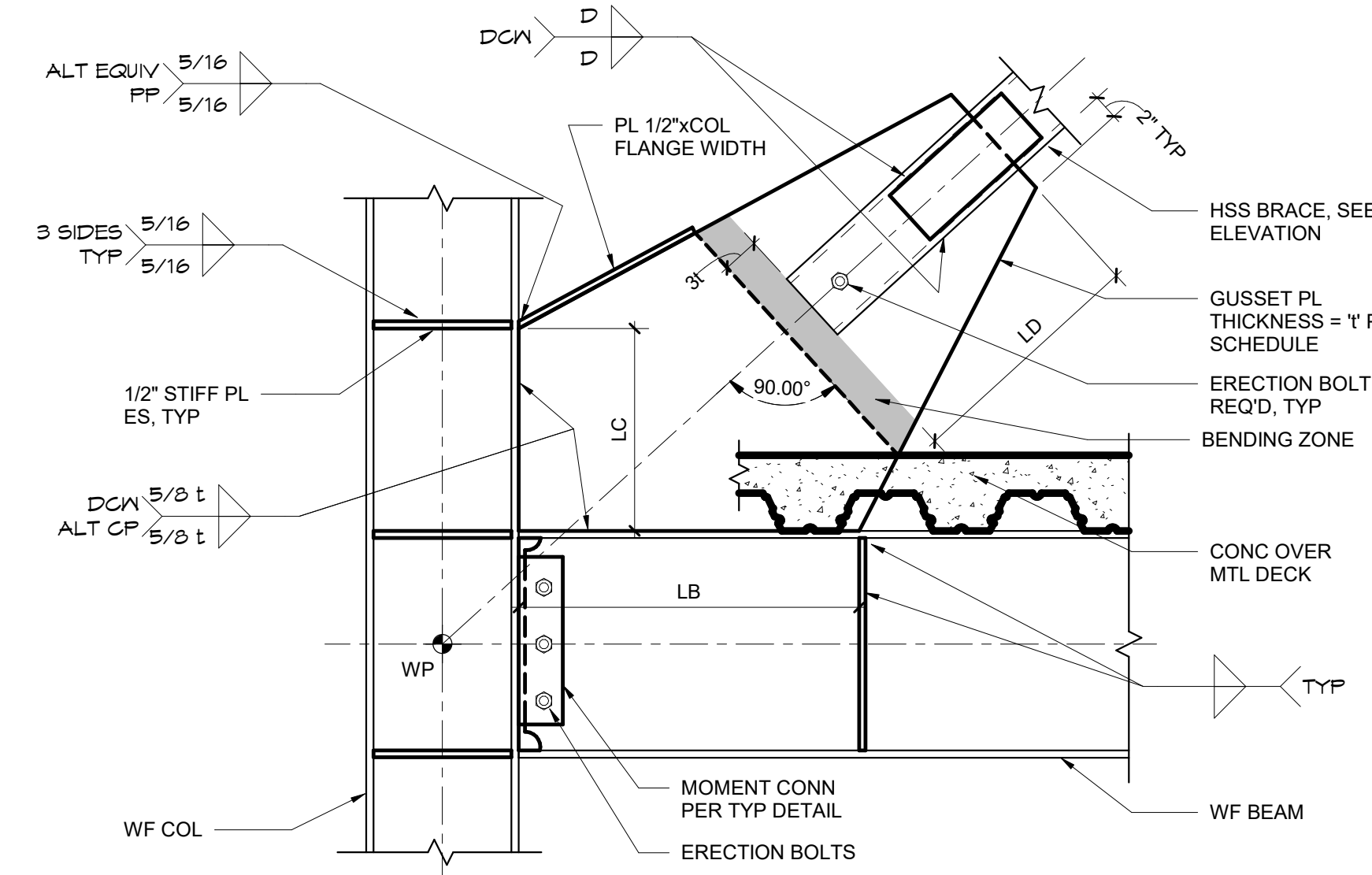
UNIT "A"
MEZZANINE & THIRD FLOOR FRAMING PLAN
SCALE: 8" = 1'-0"

- NOTES
- TOP OF STEEL BEAMS IS 6" BELOW FIN. FLOOR SLAB UNLESS NOTED.
 - (C) INDICATES TOP OF STEEL BEAM BELOW FIN. FLOOR SLAB.
 - FIELD WELDING OF STEEL BEAMS - ONE END OF EACH STEEL BEAM THAT IS TO BE FIELD WELDED SHALL BE LEFT FREE UNTIL THE SUPPORTING SLAB HAS BEEN PLACED, THEN WELDED AS DETAILED.

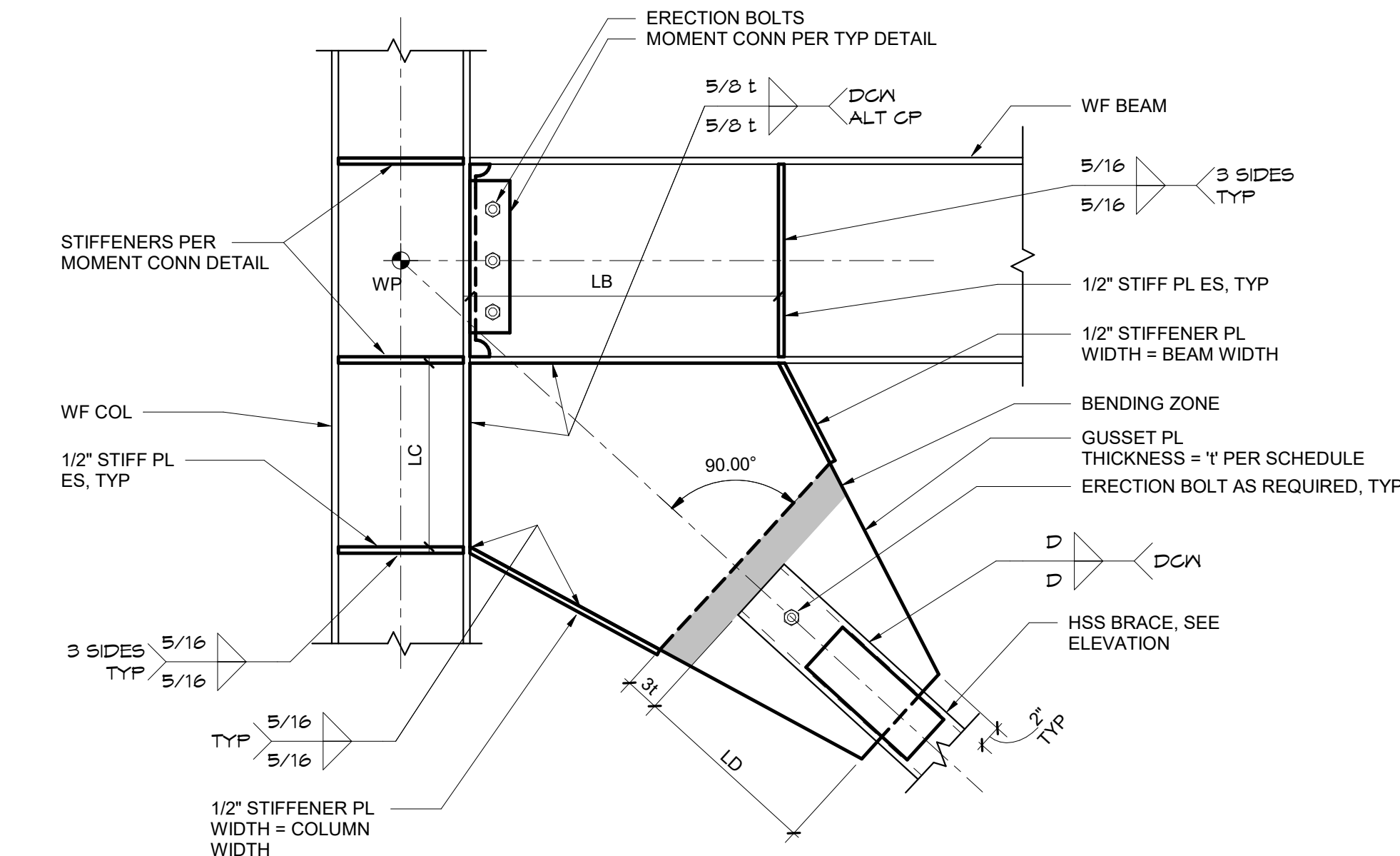




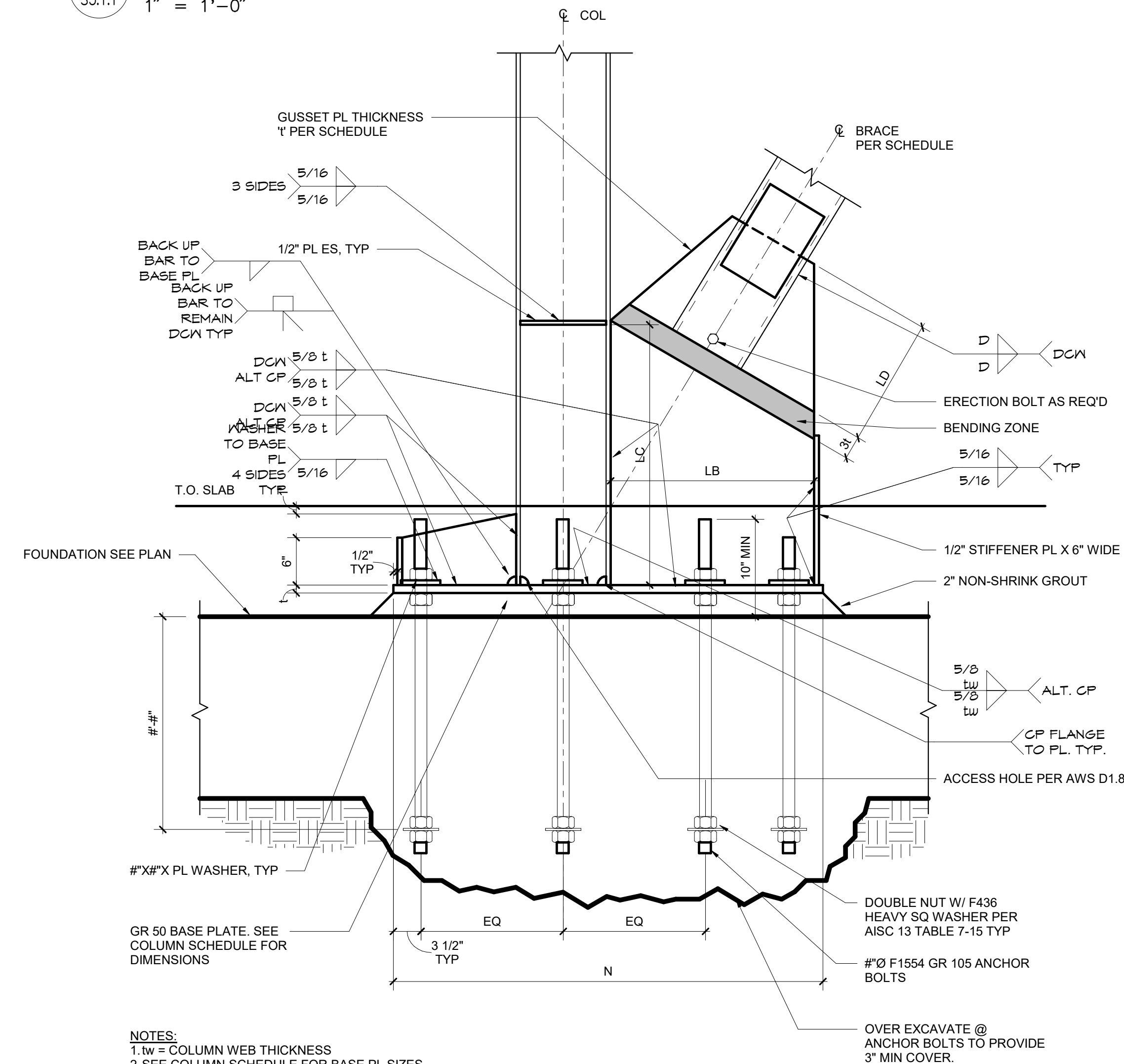
NOTES:
1. FIREPROOFING FOR BEAMS AND COLS IS NOT SHOWN.
2. ALL CONNECTIONS ARE MADE WITH 2 L^S 4x3/2 x 3/8 AND 3/4" H.S. BOLTS UNLESS NOTED OTHERWISE.



8 SCBF BOTTOM CONNECTION STRONG WAY
S3.1.1 1" = 1'-0"

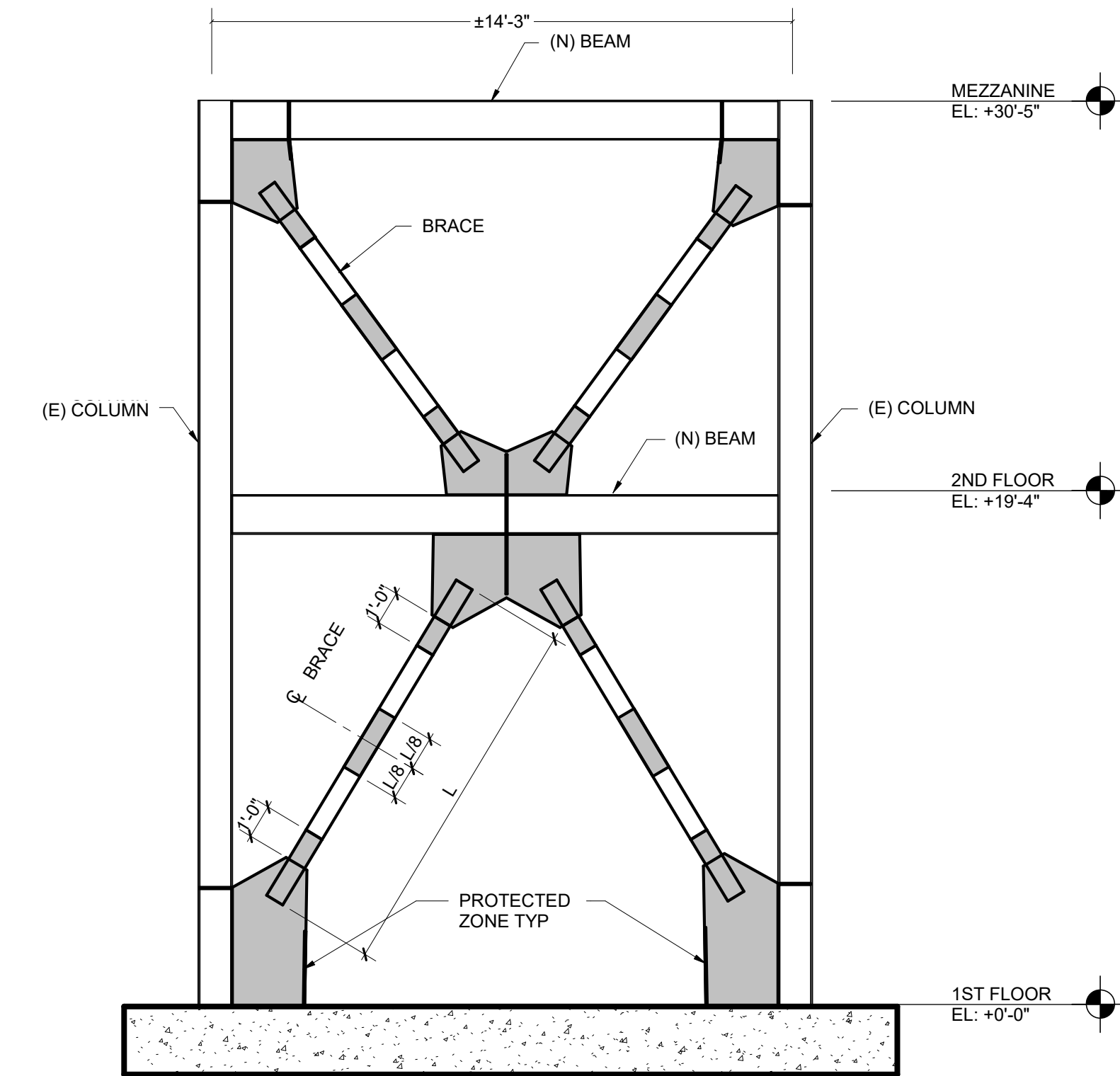


9 SCBF TOP CONNECTION STRONG WAY
S3.1.1 1" = 1'-0"



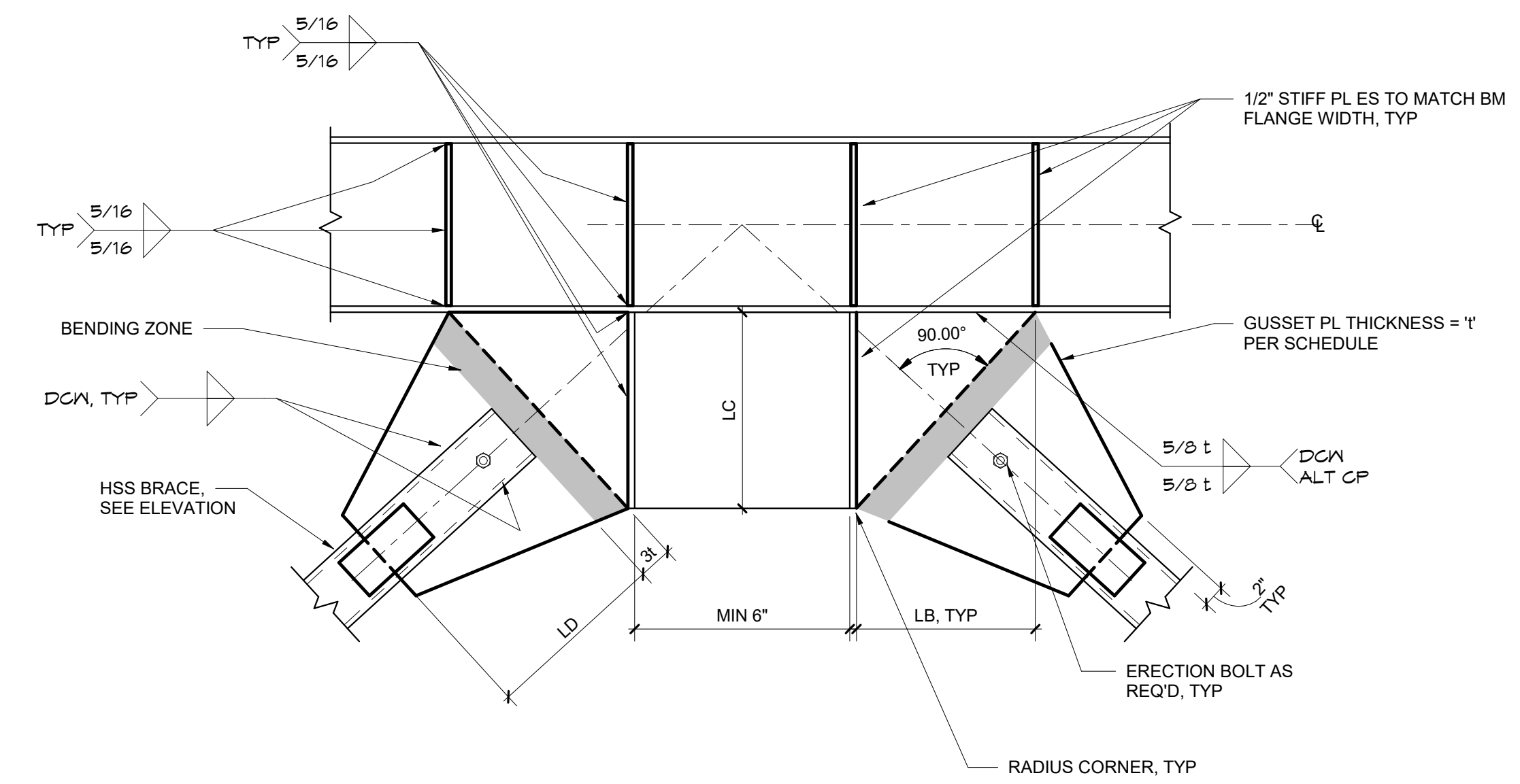
10 TYPICAL BRACE TO FOUNDATION CONNECTION
S3.1.1 1" = 1'-0"

NOTES:
1. TW = COLUMN WEB THICKNESS
2. SEE COLUMN SCHEDULE FOR BASE PL SIZES.
3. BASE PL WIDTH NOTED "B" IN COL SCHEDULE.

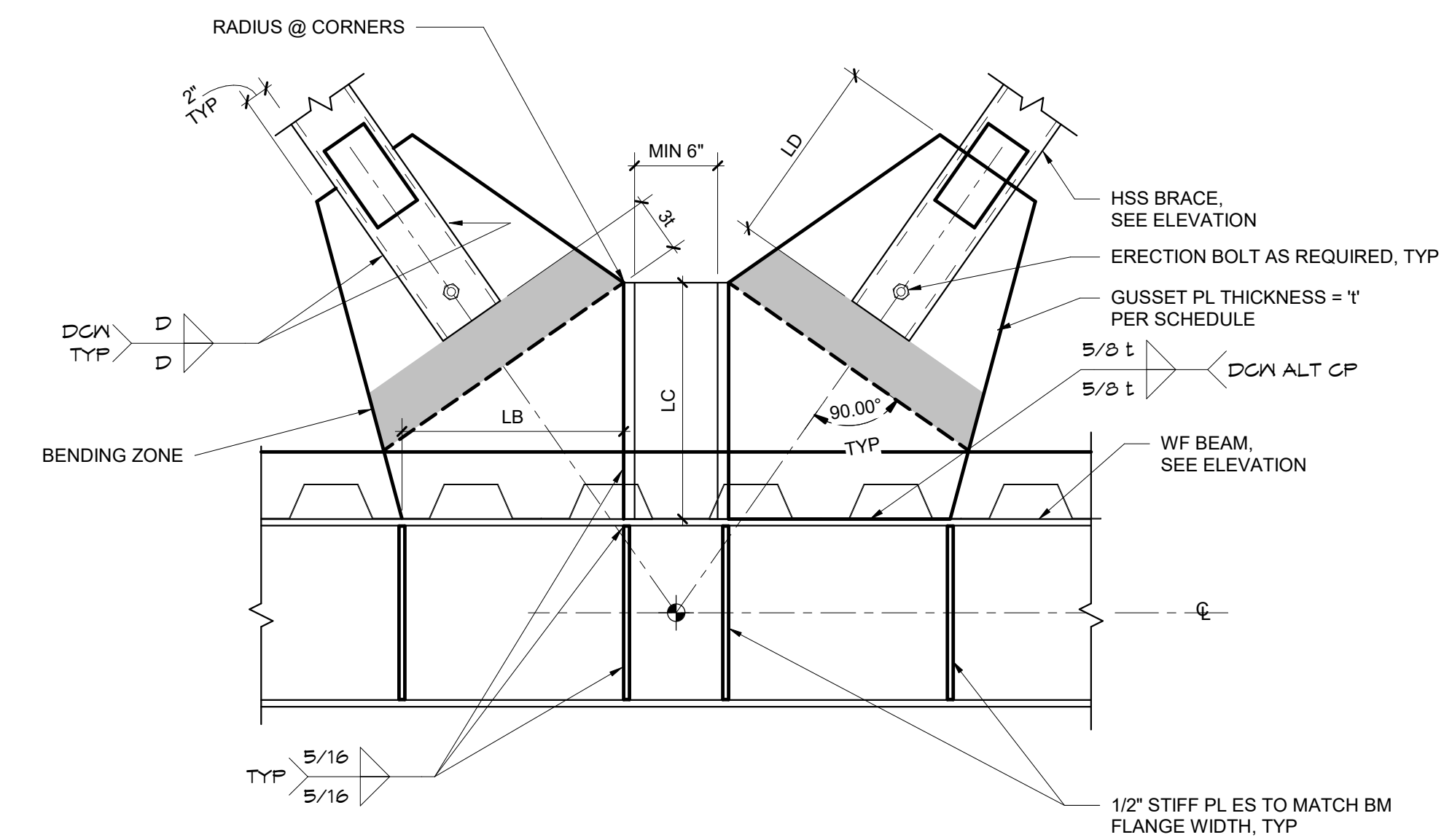


NOTES:
1. IDENTIFY THE PROTECTED ZONES WITH A PAINTED STENCIL ON EACH SIDE OF THE GUSSET AND BRACES BEFORE LEAVING THE SHOP.
2. DO NOT WELD, SCREW, OR BOLT TO THE PROTECTED ZONES.

5 TYPICAL SCBF PROTECTED ZONES
S3.1.1 1/4" = 1'-0"



6 SCBF CONNECTION AT MID SPAN TOP
S3.1.1 1" = 1'-0"



7 SCBF CONNECTION AT MID SPAN BOTTOM
S3.1.1 1" = 1'-0"

Appendix B – ASCE41-23 Tier 1 Evaluation Checklists

Subject:	BASIC CONFIGURATION CHECKLIST	Job Number:	C6892009.00	Date:	04/30/26
Job:	CRC Library Evaluation	By:	DJM	Section:	
		Checked By:		Page:	

BASIC CONFIGURATION CHECKLIST

ASCE 41-23 SEISMIC EVALUATION AND RETROFIT OF EXISTING BUILDINGS

LIFE SAFETY PERFORMANCE LEVEL

BSE-1N SEISMIC HAZARD

EVALUATION CATEGORY	STATUS				EVALUATION STATEMENT	TIER 2 REFERENCE	COMMENTARY REFERENCE	ASCE 41-23 TABLE	COMMENTS
	C	NC	NA	U					
Building System: General	C				LOAD PATH: The structure contains a complete, well-defined load path, including structural elements and connections, that serves to transfer the inertial forces associated with the mass of all elements of the building to the foundation.	5.4.1.1	A.2.1.1	17-2	
	C				ADJACENT BUILDINGS: The clear distance between the building being evaluated and any adjacent building is greater than 0.25% of the height of the shorter building in low seismicity, 0.5% in moderate seismicity, and 1.5% in high seismicity.	5.4.1.2	A.2.1.2	17-2	
			NA		MEZZANINES: Interior mezzanine levels are braced independently from the main structure or are anchored to the seismic-force-resisting elements of the main structure.	5.4.1.3	A.2.1.3	17-2	
Building System: Building Configuration	C				WEAK STORY: The sum of the shear strengths of the seismic-force-resisting system in any story in each direction is not less than 80% of the strength in the adjacent story above.	5.4.2.1	A.2.2.2	17-2	
	C				SOFT STORY: The stiffness of the seismic-force-resisting system in any story is not less than 70% of the seismic-force-resisting system stiffness in an adjacent story above or less than 80% of the average seismic-force-resisting system stiffness of the three stories above.	5.4.2.2	A.2.2.3	17-2	
		NC			VERTICAL IRREGULARITIES: All vertical elements in the seismic-force-resisting system are continuous to the foundation.	5.4.2.3	A.2.2.4	17-2	Shear Wall at mechanical space discontinued at mezzanine level
	C				GEOMETRY: There are no changes in the net horizontal dimension of the seismic-force-resisting system of more than 30% in a story relative to adjacent stories, excluding one-story penthouses and mezzanines.	5.4.2.4	A.2.2.5	17-2	
	C				MASS: There is no change in effective mass of more than 50% from one story to the next. Light roofs, penthouses, and mezzanines need not be considered.	5.4.2.5	A.2.2.6	17-2	
			NC		TORSION: The estimated distance between the story center of mass and the story center of rigidity is less than 20% of the building width in either plan dimension. This statement does not apply to buildings with flexible diaphragms.	5.4.2.6	A.2.2.7	17-2	At mezzanine level, diaphragm is cantilevered creating torsional irregularity.

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BASIC CONFIGURATION CHECKLIST

ASCE 41-23 SEISMIC EVALUATION AND RETROFIT OF EXISTING BUILDINGS
 LIFE SAFETY PERFORMANCE LEVEL
 BSE-1N SEISMIC HAZARD

EVALUATION CATEGORY	STATUS				EVALUATION STATEMENT	TIER 2 REFERENCE	COMMENTARY REFERENCE	ASCE 41-23 TABLE	COMMENTS
	C	NC	NA	U					
Geological Site Hazards				U	LIQUIDATION: Liquefaction, subsidence, saturated, loose granular soils that could jeopardize the building's seismic performance do not exist in the foundation soils at depths within 50 ft (15.2 m) under the building.	5.4.3.1	A.6.1.1	17-2	
			NA		SLOPE FAILURE: The building site is located away from potential earthquake-induced slope failures or rockfalls so that it is unaffected by such failures or is capable of accommodating any predicted movements without failure.	5.4.3.1	A.6.1.2	17-2	
			NA		SURFACE FAULT RUPTURE: Surface fault rupture and surface displacement at the building site are not anticipated.	5.4.3.1	A.6.1.3	17-2	
Foundation Configuration	C				TIES BETWEEN FOUNDATION ELEMENTS: For buildings supported on soils classified as Site Class D, DE, E, or F, the individual pile caps, piles, and piers are restrained by concrete beams or slabs adequate to resist seismic forces. For buildings supported on soils classified as Site Class E or F, individual spread footings are restrained by concrete beams or slabs adequate to resist seismic forces.	5.4.3.4	A.6.2.2	17-2	

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STRUCTURAL CHECKLIST

ASCE 41-23 SEISMIC EVALUATION AND RETROFIT OF EXISTING BUILDINGS

LIFE SAFETY PERFORMANCE LEVEL

BSE-1N SEISMIC HAZARD

REINFORCED MASONRY BEARING WALLS W/ FLEXIBLE DIAPHRAGMS (RM1) & STIFF DIAPHRAGMS (RM2)

EVALUATION CATEGORY	STATUS				EVALUATION STATEMENT	TIER 2 REFERENCE	COMMENTARY REFERENCE	ASCE 41-23 TABLE	COMMENTS
	C	NC	NA	U					
Seismic Force Resisting System	C				REDUNDANCY: The number of lines of shear walls in each principal direction is greater than or equal to 2.	5.5.1.1	A.3.2.1.1	17-34	
	C				SHEAR STRESS CHECK: The shear stress in the reinforced masonry shear walls, calculated using the Quick Check procedure of Section 4.4.3.3, is less than 70 lb/in. ²	5.5.3.1.1	A.3.2.4.1	17-34	
	C				REINFORCING STEEL: The total vertical and horizontal reinforcing steel ratio in reinforced masonry walls is greater than 0.002 of the wall with the minimum of 0.0007 in either of the two directions; the spacing of reinforcing steel is less than 48 in., and all vertical bars extend to the top of the walls.	5.5.3.1.3	A.3.2.4.2	17-34	
Connections		NC			WALL ANCHORAGE: Exterior concrete or masonry walls that are dependent on the diaphragm for lateral support are anchored for out-of-plane forces at each diaphragm level with steel anchors, reinforcing dowels, or straps that are developed into the diaphragm. Connections have strength to resist the connection force calculated in the Quick Check procedure of Section 4.4.3.7.	5.7.1.1	A.5.1.1	17-34	
			NA		WOOD LEDGERS: The connection between the wall panels and the diaphragm does not induce cross-grain bending or tension in the wood ledger or top plates fastened to the walls.	5.7.1.3	A.5.1.2	17-34	
		NC			TRANSFER TO SHEAR WALLS: Diaphragms are connected for transfer of seismic forces to the shear walls.	5.7.2	A.5.2.1	17-34	
			NA		TOPPING SLAB TO WALLS OR FRAMES: Reinforced concrete topping slabs that interconnect the precast concrete diaphragm elements are doweled for transfer of forces into the shear wall or frame elements.	5.7.2	A.5.2.3	17-34	
		C			FOUNDATION DOWELS: Wall reinforcement is doweled into the foundation.	5.7.3.4	A.5.3.5	17-34	
		C			GIRDER-COLUMN CONNECTION: There is a positive connection using plates, connection hardware, or straps between the girder and the column support.	5.7.4.1	A.5.4.1	17-34	
				NA		STIFFNESS OF WALL ANCHORS: Anchors of concrete or masonry walls to wood structural elements are installed taut and are stiff enough to limit the relative movement between the wall and the diaphragm to no greater than 1/8 in. before engagement of the anchors.	5.7.1.2	A.5.1.4	17-34

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STRUCTURAL CHECKLIST

ASCE 41-23 SEISMIC EVALUATION AND RETROFIT OF EXISTING BUILDINGS

LIFE SAFETY PERFORMANCE LEVEL

BSE-1N SEISMIC HAZARD

REINFORCED MASONRY BEARING WALLS W/ FLEXIBLE DIAPHRAGMS (RM1) & STIFF DIAPHRAGMS (RM2)

EVALUATION CATEGORY	STATUS				EVALUATION STATEMENT	TIER 2 REFERENCE	COMMENTARY REFERENCE	ASCE 41-23 TABLE	COMMENTS
	C	NC	NA	U					
Stiff Diaphragms			NA		TOPPING SLAB: Precast concrete diaphragm elements are interconnected by a continuous reinforced concrete topping slab.	5.6.4	A.4.5.1	17-34	
		NC			OPENINGS AT SHEAR WALLS: Diaphragm openings immediately adjacent to the shear walls are less than 25% of the wall length.	5.6.1.3	A.4.1.4	17-34	Penetrations present at mechanical room floor.
	C				OPENINGS AT EXTERIOR MASONRY SHEAR WALLS: Diaphragm openings immediately adjacent to exterior masonry shear walls are not greater than 8 ft long.	5.6.1.3	A.4.1.6	17-34	
Flexible Diaphragms			NA		DIAPHRAGM CONTINUITY: Floor and roof diaphragms do not have expansion joints or vertical offsets, such as split levels, sawtooth, or clerestory configurations.	5.6.1.1	A.4.1.1	17-34	
			NA		ROOF CHORD CONTINUITY: All chord elements are continuous, regardless of changes in roof elevation.	5.6.1.1	A.4.1.3	17-34	
			NA		CROSSTIES: There are continuous crossties between diaphragm chords to distribute the out-of-plane wall anchorage forces into the diaphragm. Where each out-of-plane connection does not have a continuous crosstie across the entire diaphragm, these connections are developed into subdiaphragms between crossties with a maximum length-to-width ratio of 3-to-1.	5.6.1.2	A.4.1.2	17-34	
			NA		OPENINGS AT SHEAR WALLS: Diaphragm openings immediately adjacent to the shear walls are less than 25% of the wall length.	5.6.1.3	A.4.1.4	17-34	
			NA		OPENINGS AT EXTERIOR MASONRY SHEAR WALLS: Diaphragm openings immediately adjacent to exterior masonry shear walls are not greater than 8 ft long.	5.6.1.3	A.4.1.6	17-34	
			NA		STRAIGHT SHEATHING: All straight-sheathed diaphragms have horizontal spans less than 24 ft and aspect ratios less than 2-to-1 in the direction being considered.	5.6.2	A.4.2.1	17-34	
			NA		DIAGONALLY SHEATHED AND UNBLOCKED DIAPHRAGMS: All diagonally sheathed or unblocked wood structural panel diaphragms have horizontal spans less than 40 ft and aspect ratios less than or equal to 4-to-1.	5.6.2	A.4.2.2	17-34	
			NA		BLOCKED DIAPHRAGMS: All blocked wood structural panel diaphragms have horizontal spans less than 120 ft and have aspect ratios less than or equal to 4-to-1.	5.6.2	A.4.2.3	17-34	
		NA		CANTILEVERED WOOD DIAPHRAGMS: All cantilevered wood diaphragms that provide lateral support for concrete or masonry walls consist of wood structural panels and have a maximum cantilever length of 20 ft if unblocked or 35 ft if blocked, and a maximum ratio of cantilever length to diaphragm width of 1:2 if unblocked and 1:1 if blocked. In addition, the cantilevered diaphragm has a back-span length equal to or greater than the cantilevered portion.	5.6.2	A.4.2.4	17-34		

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STRUCTURAL CHECKLIST

ASCE 41-23 SEISMIC EVALUATION AND RETROFIT OF EXISTING BUILDINGS

LIFE SAFETY PERFORMANCE LEVEL

BSE-1N SEISMIC HAZARD

REINFORCED MASONRY BEARING WALLS W/ FLEXIBLE DIAPHRAGMS (RM1) & STIFF DIAPHRAGMS (RM2)

EVALUATION CATEGORY	STATUS				EVALUATION STATEMENT	TIER 2 REFERENCE	COMMENTARY REFERENCE	ASCE 41-23 TABLE	COMMENTS
	C	NC	NA	U					
			NA		NON-CONCRETE-FILLED DIAPHRAGMS: Bare steel deck diaphragms or steel deck diaphragms with fill other than reinforced structural concrete consist of horizontal spans of less than 120 ft and have aspect ratios less than 4-to-1.	5.6.3	A.4.3.1	17-34	
			NA		OTHER DIAPHRAGMS: Diaphragms do not consist of a system other than wood, steel deck, concrete, or horizontal bracing.	5.6.5	A.4.7.1	17-34	

Appendix C – Photographs

Appendix C – Photographs



Photo C1 – North Library Entrance

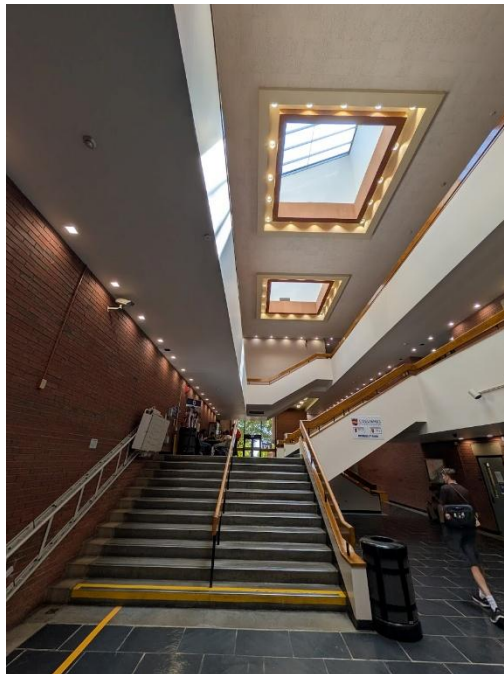


Photo C2 – Atrium and Stairs



Photo C3 – Mezzanine Columns at Gridline D (Proposed Braced Frame Line)



Photo C4 – Proposed Braced Frame Location